



SITE INFORMATION

GRAND COUNTY

POWER: ROCKY MOUNTAIN POWER

WATER: GRAND WATER & SEWER SERVICES AGENCY

SEWER: GRAND WATER & SEWER SERVICES AGENCY

GAS: SOURCE GAS: 123-456-7891

CABLE: TBD

TELEPHONE SERVICE: TBD

UNDERGROUND UTILITY LOCATE: TBD

FIRE DEPT: FIRE PROTECTION DISTRICT

FIRE DEPT PHONE: (435) 259-5710

DESIGN CRITERIA

GRAND COUNTY

BASIC WIND SPEED: 115 MPH, EXPOSURE C (VERIFY W/ STRUCTURAL ENGINEER)

SEISMIC DESIGN CATEGORY: "B" (VERIFY W/ STRUCTURAL ENGINEER)

FROST DEPTH: <5,000' = 20" / >5,000' = VERIFY W/ BUILDING INSPECTOR

SNOW LOADS: <4,000' = 15 LBS / >4,000' = +5 LBS P/ 1,000' IN ELEVATION

FOUNDATION STANDARD: <4,000' = 21 LBS / >4,000' = +5 LBS P/ 1,000' IN ELEVATION

INSULATION SPECIFICATIONS

PROJECT TO COMPLY WITH IECC REQUIREMENTS, NO RESCHECK PROVIDED

CAVITY		R-VALUE		
		MINIMUM	PROJECT SPECIFIC	
ROOFS OVER HEATED SPACES		R-49	R-49	R-49 (16" LOOSE BLOW IN CELLULOSE)
EXTERIOR WALLS		R-20/13+5	R-20	R-3 CONTINUOUS (ZIP3 SHEATHING) + R19 CAVITY (5.5" BLOW IN CELLULOSE)
INTERIOR WALLS		-	R-12	R-12 CAVITY (3.5" BLOW IN CELLULOSE)
FLOORS OVER UNHEATED SPACES		R-30	N/A	N/A
FLOORS OVER HEATED SPACES		-	N/A	N/A
BASEMENT WALL		R-15/19	N/A	N/A
CRAWLSPACE	LID	R-20	N/A	N/A
	WALL	R-15/19	N/A	N/A
CONCRETE SLAB		R-10, Depth of 2'	R-10, Depth of 2'	2" XPS RIGID FOAM INSULATION
FENESTRATION	U-VALUE	.32	.27	REF DOOR & WINDOW SCHED FOR FURTHER DETAILS
	SHGC	NR	N/A	

NOTES:

- ARCHTIECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECIEVE MIN. 3" OF BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT OR SPRAY FOAM INSULATION IN EXTERIOR WALLS AND FLOORS.
- AT A MINIMUM, ALL INTERIOR WALLS SEPERATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
- FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.

AREA ANALYSIS

	MAIN LEVEL	TOTAL
CONDITIONED	1,422 SF	1,422 SF
PATIO/COVERED	476 SF	476 SF
GARAGE	221 SF	221 SF
TOTAL		1,643 GSF

DEFINITIONS:

SQUARE FOOT: As defined by ANSI Z765-2003: Livable floor area as measured from exterior dimensions including thickness of all walls, interior and exterior, excluding fireplace bump-outs, mechanical spaces, garage spaces, and unfinished basement and/or attic space.

GROSS SQUARE FOOT: Total building area as measured from exterior dimensions including thickness of all walls, interior and exterior, mechanical spaces, garage spaces, and accessible un-finished space; does NOT include crawl spaces, patios and decks.

AREA SCHEDULE

Area Type	Level	Name	Area
Building Common Area	Level 1	BED 3	157 SF
Building Common Area	Level 1	CLOSET	50 SF
Building Common Area	Level 1	ENTRY	70 SF
Building Common Area	Level 1	GUEST BATH	80 SF
Building Common Area	Level 1	GUEST BED	155 SF
Building Common Area	Level 1	KITCHEN / DINING	201 SF
Building Common Area	Level 1	LIVING	352 SF
Building Common Area	Level 1	MASTER BATH	85 SF
Building Common Area	Level 1	MASTER BED	187 SF
Building Common Area	Level 1	MUDROOM	85 SF
Building Common Area		TOTAL CONDITIONED	1422 SF
Exterior Area	Level 1	BACK PATIO	372 SF
Exterior Area	Level 1	FRONT PORCH	104 SF
Exterior Area		TOTAL PATIO/COVERED	476 SF
Store Area	Level 1	GARAGE	221 SF
Store Area		TOTAL GARAGE/CARPORTS	221 SF

FIRE RESISTANCE REQUIREMENTS

TABLE 601, UNLESS NOTED OTHERWISE

CONSTRUCTION TYPE: VB

STRUCTURAL FRAMING	0 HOUR
BEARING WALLS - EXTERIOR	0 HOUR
BEARING WALLS - INTERIOR	0 HOUR
NON-BEARING WALLS - EXTERIOR	0 HOUR
NON-BEARING WALLS - INTERIOR	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR
DEMISING	1 HOUR
SLEEP UNIT SEPERATION (SECTION 708.3)	N/A
SHAFT CONSTRUCTION (SECTION 713.4)	N/A
STAIR ENCLOSURE CONSTRUCTION (SECTION 713.4)	N/A

ZONING SUMMARY

GRAND COUNTY CITY ZONING: PUD
LOT ID: 30, 19, 26 TBD

AREA SQFT:	5310 SF
AREA ACRES:	0.12
MIN LOT AREA:	0.1 ACRE
BLDG FOOTPRINT:	1,643 SF
FRONT SETBACK:	20 FT.
REAR SETBACK:	10 FT.
SIDE SETBACK:	10 FT.
SIDE SETBACK CORNER:	20 FT.
MAX HEIGHT:	24 FT.
MAX HOUSE PERCENT OF LOT:	35%
ACTUAL HOUSE PERCENT OF LOT:	31%

*INFO FROM FINAL PLAT FOR ARROYO CROSSING

SHEET INDEX

SHEET NUMBER	SHEET NAME	PERMIT	22/09/07 PHASE 2 PRICING
COVER			
CVR	COVER	X	X

NOTES & LEGENDS

G100	GENERAL NOTES AND LEGENDS	NEW	X
G200	DOE COMPLIANCE	NEW	

ARCHITECTURAL

A001	ASSEMBLY TYPES	NEW	X
A095	TYP SITE LAYOUT + UTILITIES	NEW	X
A100	SITE PLAN LOT 22	NEW	
A101	AREA PLAN 3 BED	NEW	X
A102	MAIN FLOOR PLAN 3 BED	NEW	X
A110	MAIN FLOOR FRAMING 3 BED	NEW	X
A120	MAIN FLOOR RCP 3 BED	NEW	X
A122	OUTLET PLAN 3 BED	NEW	X
A130	ROOF PLAN 3 BED	NEW	X
A201	ELEVATIONS 3 BED	NEW	X
A301	BUILDING SECTIONS 3 BED	NEW	X
A310	WALL SECTIONS	NEW	
A311	WALL SECTIONS	NEW	
A601	DOOR AND WINDOW SCHEDULE	NEW	X
A603	SOLAR FENESTRATION	NEW	
A901	EXTERIOR PERSPECTIVES 3 BED	NEW	X
A902	INTERIOR PERSPECTIVES 3 BED	NEW	X

STRUCTURAL

S001	STRUCTURAL GENERAL NOTES AND LEGEND	NEW	
S002	FOUNDATION ISOMETRIC	NEW	
S101	FOUNDATION PLAN	NEW	
S102	ROOF FRAMING PLAN	NEW	
S201	FOUNDATION DETAILS	NEW	
S301	FRAMING DETAILS	NEW	

ABBREVIATIONS

ABV above	GAL gallon	PSF pounds / square foot
ADJ adjacent	GB grab bar	PSI pounds / square inch
AFF above finished floor	GC general contract	PTM partition
ALUM aluminum	GL glass, glazing	PVC polyvinyl chloride
ALT alternate	GWB gypsum wall board	PVMT pavement
ARCH architect (ural)	GV galvanized	PWD plywood
ASPH asphalt	GYP gypsum	R riser, radius
A/C air conditioning	HB hose bibb	RB rubber base
AVG average	HBD hardwood	RCP reflected ceiling plan
BD board	HC hollow core	RD roof drain
BLDG building	HCP handicap (ped)	REF reference
BLK block	HDR header	RF refrigerator
BLKG blocking	HDW hardware	RG range
BO bottom of	HM hollow metal	REG register
BR bedroom	HOR horizontal	REINF reinforce (d) (ing)
BSMT basement	HT height	REQD required
C channel	HTG heating	REV revise (s), revised
CAB cabinet	HWD hardwood	RFG roofing
CD clean out	ID inside diameter	RM room
CLG ceiling	INCL include (d) (ing)	RO rough opening
CLST closet	INSUL insulate (d) (ion)	ROW right of way
CLR clear (ance)	INT interior	RS rough sawn
CMU concrete msrny unit	IRC intl. residential code	RUB rubber
CO column	INV invert	S south
CONC concrete	JST joist	SA smoke alarm
CONST construction	JT joint	SC solid core
CTR center	KIT kitchen	SCH schedule
CJ control joint	L length, angle	SD storm drain
CLG ceiling	LAB laboratory	SECT section
CLST closet	LAM laminate (d)	SHT sheet
CMU concrete msrny unit	LAV lavatory	SHTG sheathing
CO clean out	LB pound	SIM similar
COL column	LBL label	SIN sink
CONC concrete	LF lineal feet	SPD soap dispenser
CONST construction	LL live load	SPEC specification
CONT continuous	LT light	SQ square
CORR corridor	MAS masonry	SSK service sink
CPT carpet (ed)	MATL material (s)	SS sanitary sewer
CSMT casement	MAX maximum	ST steel
CT ceramic tile	MEOH mechanic (al)	STD standard
DBL double	MTL metal	STM stone
DL double hung	MFR manufacture (r)	STO storage
DIAG diagonal	MH manhole	STR structural
DIAM diameter	MIN minimum	SUSP suspended
DIM dimension (s)	MISC miscellaneous	T tread
DN down	MLD molding, moulding	TB towel bar
DR door	MOV movable	TEL telephone
DS downsput	MT mount (ed) (ing)	THR thick (ness)
DTL detail	MW microwave oven	TO top of
DW dish washer	N north	TPH toilet paper holder
DWR drawing	NAT natural	TS tube steel
DWR drawer	EOPT equipment	T television
E east, egress	EXIST existing	TYP typical
EA each	EXT exterior	T&G tongue and groove
EJ expansion joint	EQ equal	UE underground electric
EL elevation	EQPT elastomeric mmbme	UL underwriters laboratory
ELEC electric (al)	EQPT equipment	UNO outside diameter
EPDM elastomeric mmbme	EXT existing	OH overhead
EQ equal	EXR exterior	OPC opening
EOPT equipment	FD faucet	OPP opposite
EXIST existing	FD floor drain	PERF perforate
EXT exterior	FTDN foundation	PERIM perimeter
EPDM elastomeric mmbme	FE fire extinguisher	PL plaster
EQ equal	FFC finished floor elevation	PLAM plastic laminate
EOPT equipment	FIN finish	PLAS plastic
EXIST existing	FLC floor (ing)	PLF pounds per lineal feet
EXT exterior	FOF face of concrete	PLT plate
EXR exterior	FOS face of finish	PNT paint (ed)
EQ equal	FRMC framing	PR pair
EOPT equipment	FT foot	
EXIST existing	FTG footing	
EXT exterior	GA gage, gauge	

BUILDING DEPT COMMENTS

SITE MANAGEMENT NOTES

- GENERAL:**
- BUILDING FOOTPRINT SHALL BE LOCATED BY A CERTIFIED SURVEYOR & BE REVIEWED AND APPROVED BY ARCHITECT BEFORE COMMENCING WORK.
 - CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, DEBRIS AND EXISTING STRUCTURES, INCLUDING PAVEMENT, SIDEWALK, BUILDING FOUNDATION, ABANDONED UTILITIES AND EXISTING TOPSOIL IN ALL AREAS OF DEVELOPMENT.
 - DO NOT DISTURB SITE BEYOND LIMITS OF CONSTRUCTION AS SET FORTH WITHIN THIS DRAWING SET.
 - ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND OR RE-LANDSCAPED AS SET FORTH IN THE LANDSCAPING PLAN OR TO MATCH EXISTING WHERE NOT NOTED, SUCH THAT THEY BECOME INDISTINGUISHABLE FROM ADJACENT UNDISTURBED NATURAL AREAS.
 - NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. KEEP MATERIALS AND WORKMEN WITHIN CONSTRUCTION FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S / SUBCONTRACTOR'S EXPENSE.
 - ANY AREAS EXTENDING BEYOND THE IMMEDIATE BUILDING SITE THAT ARE DISTURBED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO, DRAINAGE FACILITIES AND UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL STATE.
 - ALL TRADES SHALL BE RESPONSIBLE FOR COMPLETING SITE INVESTIGATION TO IDENTIFY SCOPE OF MATERIALS TO BE REMOVED AND NEW MATERIALS REQUIRED TO MATCH EXISTING CONSTRUCTION.
 - ALL PROPERTY AND BUILDING LINES AS WELL AS ALL SPOT ELEVATIONS SUCH AS TOP OF PWD IN RELATION TO EXISTING GRADE, SHALL BE FIELD VERIFIED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 - HOUSE ADDRESS MARKING: A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER THROUGHOUT CONSTRUCTION, SO THAT IT IS REASONABLY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.
 - ALL RETAINING WALLS TO HAVE DRAIN TILE SURROUNDED BY 3/4" CRUSHED GRAVEL WRAPPED IN GEOTEXTILE BEHIND WALL AND WEEPS @ 4'-0" OC. (TYP). REFER TO SOILS REPORT FOR FURTHER INFORMATION.
 - 3'-0" NON COMBUSTIBLE SPACE AROUND HOUSE PERIMETER IS REQUIRED 30'-0" DEFENSIBLE SPACE AROUND HOUSE PERIMETER IS STRONGLY RECOMMENDED

- UTILITIES:**
- CONTRACTOR SHALL CONFIRM WITH EACH APPLICABLE AGENCY THAT ALL UTILITIES (SEWER, POWER, WATER, ETC.) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL PLUMBING DRAINS.
 - ALL UTILITIES ARE TO BE BURIED, AND SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES.
 - UTILITY ROUTING AND CONDUIT TRENCH LOCATIONS SHALL CONFORM TO ALL APPLICABLE BUILDING CODES WITH REFERENCE TO HORIZONTAL AND VERTICAL SEPARATION.
 - ELECTRICAL METER SHALL HAVE THE ABILITY TO BE READ REMOTELY BY POWER COMPANY.
 - WATER SUPPLY LINE SHALL BE 11/2" OD POLYETHYLENE AND 8'-0" BELOW GRADE, UNLESS REQUIRED OTHERWISE BY THE LOCAL JURISDICTION OR CODE.

- EXCAVATION**
- ANY EXCAVATION SHALL BE CONDUCTED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN GEOTECHNICAL REPORT.
 - FINISH GRADE SHALL BE A MINIMUM OF 8 INCHES BELOW WOOD FRAMING AT BUILDING EXTERIOR.
 - FINISH GRADE TO SLOPE AWAY FROM STRUCTURE FOR A MINIMUM DISTANCE OF 10'-0" AND AT A MINIMUM SLOPE OF 1:10 AND A MAXIMUM SLOPE OF 1:2 UNLESS NOTED OTHER WISE. - GEOTECHNICAL REPORT TO SUPERCEDE ANY FURTHER CONFLICTS
 - THERE SHALL BE AN EVEN SLOPE BETWEEN NEW GRADES UNLESS NOTED OTHERWISE. MEET EXISTING GRADES AT A MAXIMUM SLOPE OF 1'-0" VERTICAL TO 2'-0" HORIZONTAL AND A RECOMMENDED SLOPE OF 1'-0" VERTICAL TO 10'-0" HORIZONTAL. ALL FINISHED EARTH GRADES TO BE 1" BELOW ADJACENT WALKS AND DRIVES UNLESS OTHERWISE NOTED. DITCHES TO HAVE SMOOTH CONTOURS TO FACILITATE USE OF LAWN MOWERS WHERE APPLICABLE.
 - THE UNDER FLOOR GRADE SHALL BE CLEARED OF ALL VEGETATION AND ORGANIC MATERIAL. ALL WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED, AND ALL CRAWL SPACES SHALL BE CLEARED OF ALL CONSTRUCTION DEBRIS BEFORE STRUCTURE IS OCCUPIED.

- FIRE SUPPRESSION**
- WHEN FIRE SUPPRESSION SYSTEM IS REQUIRED, SPRINKLER SYSTEM DESIGN AND LAYOUT SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO COMMENCING CONSTRUCTION.
 - FIRE SUPPRESSION ENGINEER OF RECORD SHALL BE CONTACTED BY GENERAL CONTRACTOR TO PERFORM ON-SITE OBSERVATION VERIFYING THE INSTALLATION IS IN ACCORDANCE WITH PLANS PROVIDED

- STAGING NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM ANY APPLICABLE ARCHITECTURAL REVIEW COMMITTEE FOR ALL CONSTRUCTION STAGING IN THE FIELD PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES AND GENERAL EASEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY REVISIONS OR ALTERATIONS TO THE CONSTRUCTION STAGING PLAN PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO INSTALL STRAW BALES IN ADDITION TO SILT FENCE AT LOCATIONS OF POTENTIAL RUN-OFF INTO WETLAND AREAS AS INDICATED ON SITE PLAN.
 - ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE ASPHALT SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DEVELOPMENT OR OVERSEEING JURISDICTION.
 - GRAVEL CONSTRUCTION ENTRANCE IS TO BE CONSTRUCTED WITH A MIN. OF 2" OF 3/4" SCREENED ROCK TO COVER ALL DRIVEWAYS PARKING, AND LAY DOWN AREAS TO BE PLACED AT START OF CONSTRUCTION, AND A RECOMMENDATION OF A MIN. OF (8" MINUS 3" PITRUN OVER A GEOTECHNICAL SEPARATION FABRIC.
 - ANY USE OF ANY FIRE HYDRANT IS PROHIBITED FOR USE BY ANY OTHER THAN THE GOVERNING FIRE DEPARTMENT.
 - ALL WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. FURTHER, CONCRETE WASHOUT WITHIN ROADSIDE DITCHES IS STRICTLY PROHIBITED.

MOISTURE CONTROL

- SLOPE PATIO SLABS, WALKS AND DRIVEWAYS A MINIMUM OF 1/8 / 12" PER FT AWAY FROM U.N.N., TAMP BACK FILL IN 6" LAYERS TO PREVENT SETTLING, AND SLOPE THE FINAL GRADE AWAY FROM THE FOUNDATION AT A RATE AS PERSCRIBED BY THE GEOTECHNICAL ENGINEER.
- INSTALL PROTECTED DRAIN TILE AT FOOTINGS PER SITE SPECIFIC GEOTECHNICAL REPORT. DISCHARGE TO OUTSIDE GRADE (DAYLIGHT) OR TO A PUMP PUMP. NO SURFACE OR ROOF DRAINAGE SHALL BE ROUTED TO ANY PART OF THE FOOTING DRAIN TILE SYSTEM.
- DRAINS OR SUMP PUMPS IN BASEMENT AND CRAWL SPACE FLOORS TO DISCHARGE A MIN. OF 10 FT. OUTSIDE THE FOUNDATION OR INTO AN APPROVED SEWER SYSTEM. PROVIDE SEALED (GASKET) SUMP PUMP COVER IN AREAS WHERE RADON IS OF CONCERN.
- PROVIDE CAPILLARY BREAKS BENEATH CONCRETE SLABS, INCLUDING BASEMENT FLOORS.
- DAMP-PROOF OR WATERPROOF ALL EXTERIOR SURFACES OF BELOW-GRADE FOUNDATION WALLS.
- DIRECT ROOF WATER AWAY FROM THE STRUCTURE USING GUTTERS AND DOWNSPOUTS THAT EMPTY INTO LATERAL PIPING THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE A MINIMUM OF 10 FT. FROM THE FOUNDATION. ROOFS DESIGNED WITHOUT GUTTERS ARE ACCEPTABLE IF THEY ARE DESIGNED TO DEPOSIT RAINWATER TO A GRADE-LEVEL ROCK BED WITH WATERPROOF LINER DRAIN PIPE THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE, AS SPECIFIED ABOVE. WHEN LOT SPACE LIMITS OR PREVENTS REQUIRED GRADING, DIRECT ROOF WATER TO AN UNDERGROUND CATCHMENT SYSTEM (NOT CONNECTED TO THE FOUNDATION DRAIN TILE SYSTEM) THAT DEPOSITS WATER A MINIMUM OF 10 FT. FROM THE FOUNDATION. RAINWATER-HARVESTING SYSTEMS MAY BE USED TO MEET THIS REQUIREMENT WHEN THEY ARE DESIGNED TO PROPERLY DRAIN OVERFLOW, MEETING DISCHARGE DISTANCE REQUIREMENTS ABOVE.
- INSTALL MOISTURE-RESISTANT MATERIAL AND MOISTURE-PROTECTIVE SYSTEMS IN VULNERABLE AREAS TO PREVENT THE GROWTH OF MOLD. INSTALL WATER-RESISTANT HARD-SURFACE FLOORING IN KITCHENS, BATHROOMS, ENTRYWAYS, LAUNDRY AREA & UTILITY ROOMS. DO NOT INSTALL WALL-TO-WALL CARPET ADJACENT TO TOILETS AND BATHING FIXTURES.
- INSTALL MOISTURE-RESISTANT BACKING MATERIAL (I.E., CEMENT BOARD OR THE EQUIVALENT, BUT NOT PAPER-FACED WALL BOARD) BEHIND TUB AND SHOWER ENCLOSURES
- INSTALL ALL CONDENSATE DISCHARGE ACCORDING TO IRC SECTION M1411.3.
- INSULATE PIPING INSTALLED IN EXTERIOR WALLS.
- DO NOT INSTALL CONTINUOUS VAPOR BARRIERS ON THE INTERIOR SIDE OF EXTERIOR WALLS THAT HAVE HIGH CONDENSATION POTENTIAL (E.G., BELOW-GRADE EXTERIOR WALLS IN MOST CLIMATES AND ABOVE GRADE EXTERIOR WALL IN WARM-HUMID CLIMATES). EXAMPLE: AN INTERIOR STUD WALL ERECTED NEXT TO A BELOW-GRADE BASEMENT WALL AND INSULATED WITH MINERAL WOOL FIBERGLASS OR CELLULOSE INSULATION SHOULD NOT HAVE FOIL-FACED PAPER, POLYETHYLENE FILM OR VINYL WALLPAPER ON ITS INTERIOR SURFACE. WATER VAPOR PASSING FROM THE DAMP EARTH THROUGH THE BELOW-GRADE CONCRETE OR CMU WALL WILL PASS EASILY THROUGH THE INSULATION MATERIALS, BUT ACCUMULATE ON MICROCLIMATE. USING MATERIALS OF 2 PERMS OR MORE ON THE INTERIOR OF THE WALLS ALLOWS IT TO DRY INTO THE BASEMENT.
- DO NOT INSTALL BUILDING MATERIALS THAT HAVE VISIBLE SIGNS OF WATER DAMAGE OR MOLD. IN ADDITION, INTERIOR WALLS SHALL NOT BE ENCLOSED (E.G., WITH DRYWALL) IF EITHER THE FRAMING MEMBERS OR INSULATION HAS A HIGH MOISTURE CONTENT. FOR WET-APPLIED INSULATION, FOLLOW THE MANUFACTURE'S DRYING RECOMMENDATIONS. LUMBER SHOULD NOT EXCEED 18% MOISTURE CONTENT.
- GARAGE FLOOR DRAINS ARE TO MEET DISCHARGE DISTANCE REQUIREMENTS ABOVE AND TO DRAIN IN TO LANDSCAPED/LINED HOLDING PONDS TO ALLOW WASTE WATER TO NATURALLY EVAPORATE. SEE SWPPP % EPA REQUIREMENTS.

AIR CONTROL

- PROVIDE A CONTINUOUS AIR BARRIER BEHIND TUB AND SHOWER LOCATIONS AT ALL EXTERIOR WALLS. INSULATION TO BE INSTALLED BEFORE TUB OR SHOWER ENCLOSURE IS INSTALLED.
- SEAMS BETWEEN SUBFLOOR AND BOTTOM PLATE TO BE SEALED WITH CAULK.
- SEAMS BETWEEN TOP PLATE, FLOOR JOISTS, AND ROOF JOISTS TO BE SEALED WITH CAULK.
- SEAMS BETWEEN KING AND TRIMWOODS AND DOORS TO BE SEALED WITH CAULK.
- SEAL HOLES IN ELECTRICAL BOXES LOCATED ON EXTERIOR WALLS WITH EITHER LOW EXPANSION FOAM OR USE AN AIR TIGHT BOX.
- SILL SEAL PROVIDED BETWEEN TREATED WOOD SILL PLATES AND CONCRETE STEMS OR SLABS.

SYMBOL LEGEND

	WINDOW INDICATOR
	ROOM DESIGNATION
	WALL TYPE INDIC
	DOOR INDICATOR
	ACCESSORY INDICATOR
	WALL FINISH INDIC.
	FLOOR FINISH INDIC.
	PLASTIC LAMINATE INDIC.
	FLOOR MATERIAL TRANSITION INDIC.
	DRAWING TITLE
	ELEVATION INDICATOR
	RECESSED FLOOR SLAB
	INTERIOR ELEVATION REFERENCE
	EXTERIOR ELEVATION REFERENCE
	DETAIL REFERENCE
	LEVEL CHANGE INDICATOR
	SECTION REFERENCE
	REVISION INDICATOR

GENERAL NOTES

- A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED THE THE ARCHITECT IMMEDIATELY.
- C. ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH ALL STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3.
- D. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND / OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LEFT INCOMPLETE TO THE OWNER.
- F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
- G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER.
- I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DIMENSIONAL ERRORS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- L. CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR AND TAKE-OFFS.
- M. SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.
- N. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- O. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND ASHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE HIS OR HER TRASH AND DEBRIS. ALL WELDING AND METAL WORK TO BE REVIEWED BY THE ARCHITECT. ANY INFERIOR WELDS OR METAL WORK THAT IS NOT ACCEPTED WILL BE RE-WORKED ACCORDING TO THE ARCHITECT'S DIRECTION. CALL THE ARCHITECT TO INSPECT ALL STRUCTURAL EXPOSED STEEL, BRIDGES, STAIRS, GUARDRAILS, OR SPECIALTY DESIGN FEATURES LOCATED ANYWHERE WITHIN THE SCOPE OF THE WORK.

SHOP DRAWING NOTES

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL ELEMENTS REQUIRING CUSTOM FABRICATION IN ADDITION TO ANY STRUCTURAL ITEMS REQUIRED BY THE STRUCTURAL ENGINEER. CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTAL. ANY SHOP DRAWINGS OR PRODUCT DATE NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. ALL DIMENSIONS SHALL BE VERIFIED BY GENERAL CONTRACTOR ON SITE.
- ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE ORIGINAL CONTRACT DRAWINGS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED ALLOWED AFTER THE ARCHITECT'S REVIEW, UNLESS NOTED ACCORDINGLY BY THE ARCHITECT.
- THE ARCHITECT RESERVES THE RIGHT TO ALLOW OR NOT ALLOW ANY CHANGES TO THE ORIGINAL CONTRACT DRAWINGS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.
- THE SHOP DRAWINGS DO NOT REPLACE THE ORIGINAL CONTRACT DRAWINGS. ITEMS OMITTED OR SHOWN INCORRECTLY AND WHICH ARE NOT NOTED AS ALLOWED BY THE ARCHITECT OR STRUCTURAL ENGINEER ARE NOT TO BE CONSIDERED CHANGES TO THE ORIGINAL CONTRACT DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS OMITTED OR SHOWN INCORRECTLY ARE CONSTRUCTED IN ACCORDANCE WITH THE ORIGINAL CONTRACT DRAWINGS.
- REVIEWING OF SHOP DRAWINGS IS SUBMITTED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR.
- SHOP DRAWINGS WILL BE RETURNED FOR RE-SUBMITTAL IF MAJOR ERRORS ARE FOUND DURING REVIEW.
- ALLOW A MINIMUM OF FIVE WORKING DAYS FOR REVIEW OF SHOP DRAWINGS BY THE ARCHITECT.

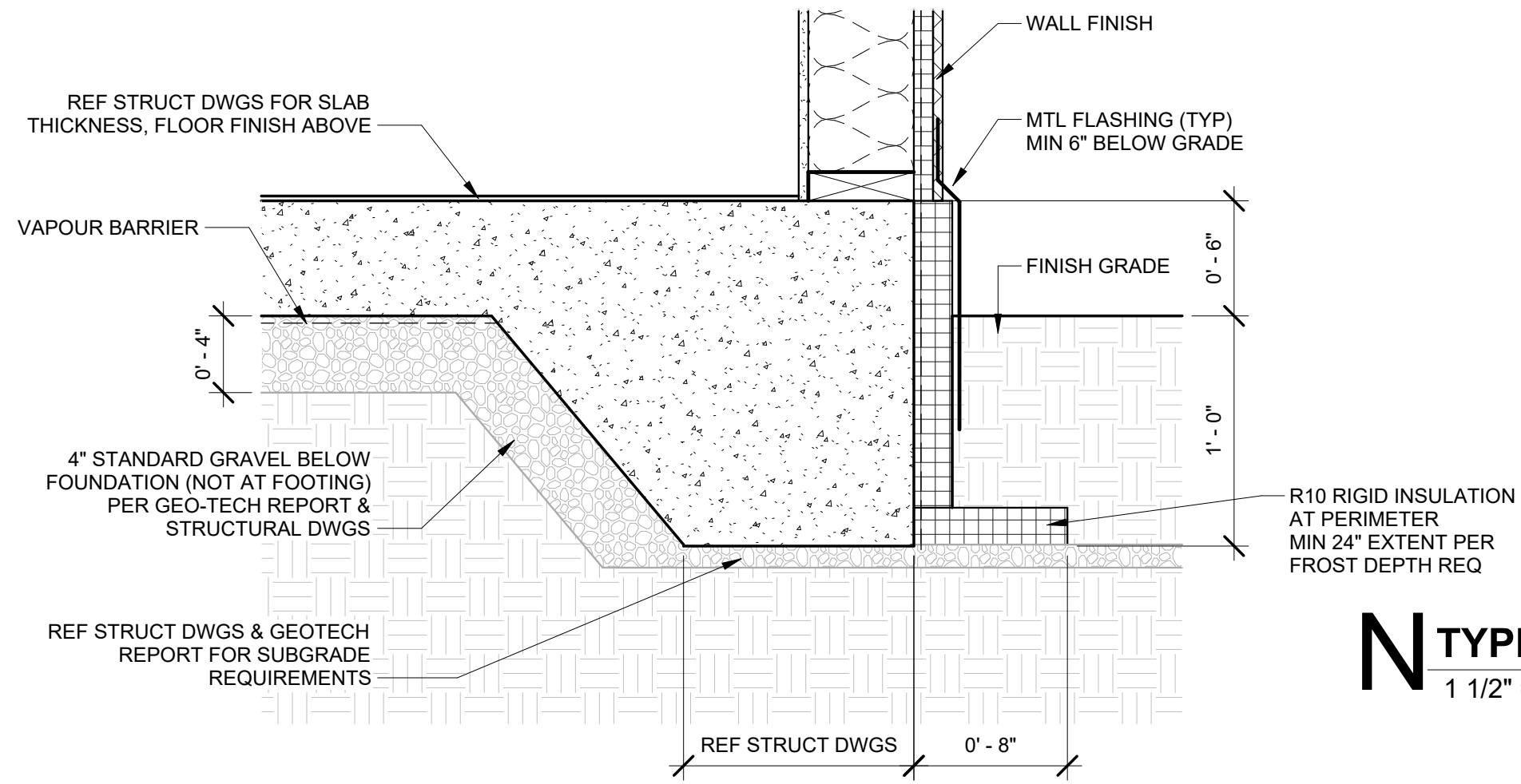
REQ'D SUBMITTALS

- GENERAL:**
- CONSTRUCTION SCHEDULE
 - CONSTRUCTION BUDGET
 - RADON MITIGATION PLAN & DETAILS
 - DOCUMENTATION OF SITE INSPECTIONS FROM STRUCTURAL ENGINEER & GEOTECHNICAL ENGINEER AS OUTLINED BY EACH ENTITY
 - CONTRACT W/ RECYCLING COMPANY
 - OPERATIONS & MAINTENANCE MANUAL
 - UNDERGROUND UTILITIES RECORD DRAWINGS
 - WEEKLY OR BI-WEEKLY CONSTRUCTION REPORTS AND PHOTOS DESCRIBING ALL WORK PERFORMED, ANY BUDGET ITEMS, & UP COMING SCHEDULE DEADLINES
- FIRE SUPPRESSION:**
- FIRE SUPPRESSION DESIGN & LAYOUT, IF REQUIRED.
 - DOCUMENTATION OF FIRE SUPPRESSION ENGINEERS SITE REVIEW
- MECHANICAL:**
- MECHANICAL ROOM EQUIPMENT LAYOUT
 - ROOF PENETRATION PLAN
 - MECHANICAL DESIGN & SHOP DRAWINGS WHERE MECHANICAL DESIGN IS NOT PROVIDED AS PART OF ARCHITECTS SCOPE
 - BLOWER DOOR TEST RESULTS
- ELECTRICAL:**
- ELECTRICAL WALK THROUGH REQUIRED, COORD. W/ ARCH, ID, OWNER
 - LIGHTING FIXTURES, BOTH INT& EXT
- PLUMBING:**
- PLUMBING FIXTURES
- STRUCTURAL:**
- STEEL SHOP DRAWINGS
 - TIMBER SHOP DRAWINGS
 - PRE-MANUFACTURED TRUSS SHOP DRAWINGS, AS APPLICABLE
- THERMAL & MOISTURE PROTECTION:**
- VAPOR BARRIER SPECS & SUBMITTAL SHEETS
 - INSULATION SPECS & SUBMITTAL SHEETS
 - BELOW SLAB INSULATION WALK THROUGH, REVIEW, & APPROVAL REQUIRED, COORD. W/ ARCH
- OPENINGS:**
- DOOR AND WINDOW MFR. SHOP DRAWINGS & SUBMITTAL SHEETS
 - ROUGH OPENING WALK THROUGH REQUIRED, COORD. W/ ARCH
- FINISHES:**
- MATERIAL SAMPLES & MOCKUPS AS REQUIRED - SEE MATERIAL LEGEND
 - SNOW GUARD AND GUTTER SHOP DRAWINGS & SUBMITTAL SHEETS
 - CABINET SHOP DRAWINGS, SAMPLES & MOCKUPS AS REQUIRED

MATERIAL LEGEND

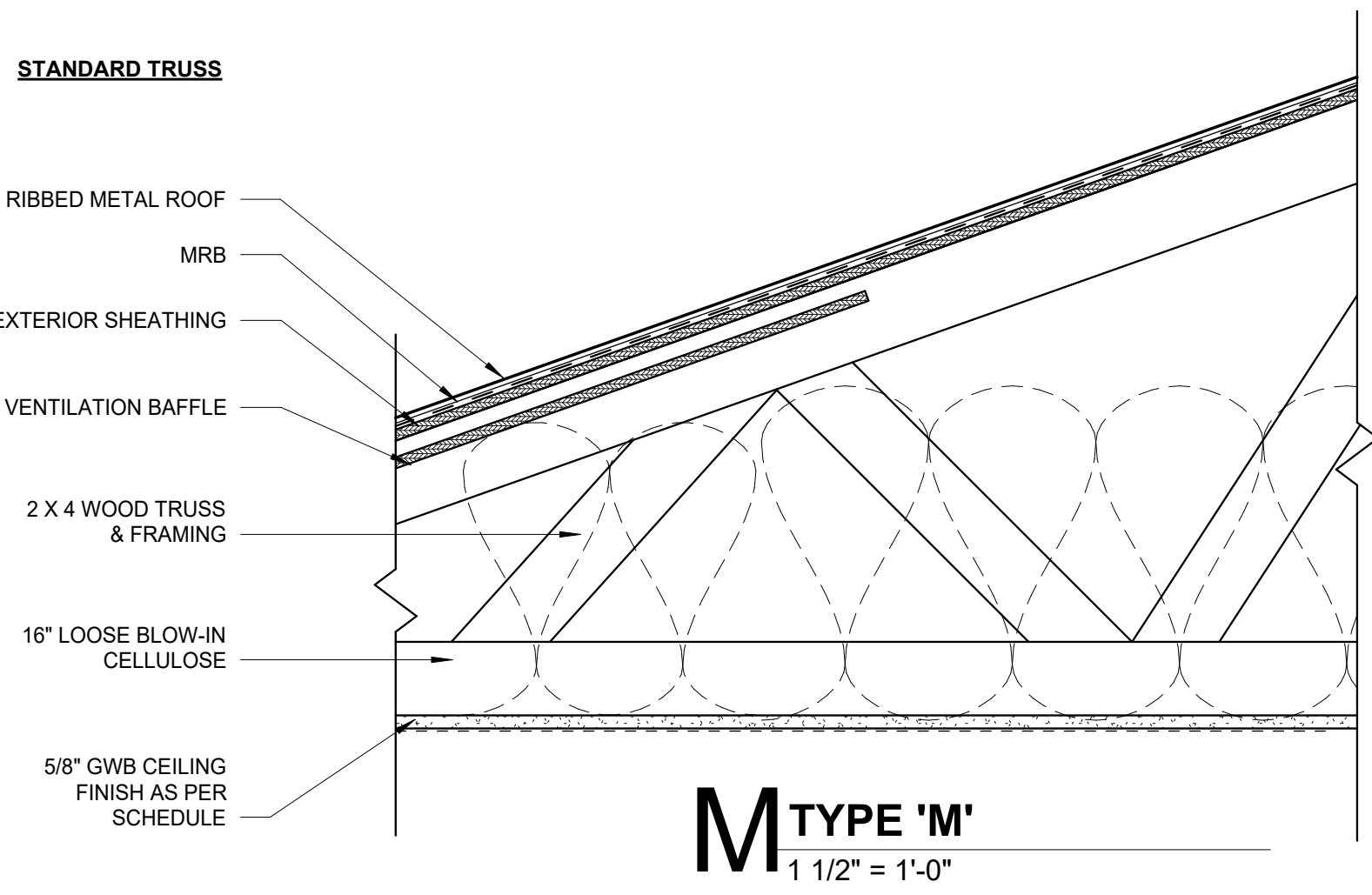
	EARTH/COMPACT FILL		PLYWOOD
	GRAVEL/POROUS FILL		PARTICLEBOARD
	CONCRETE (PRECAST OR CAST IN PLACE)		GYPSUM BOARD
	SAND/MORTAR/PLASTER/GROUT		GLASS (SECTION)
	CONCRETE BLOCK(CMU)		NSULATION
	STEEL		RIGID INSULATION
	ALUMINUM		WOOD GLULAM
	CONTINUOUS WOOD BLOCKING		BRICK VENEER
	NON-CONTINUOUS WOOD BLOCKING		GLASS
	WOOD FINISH		

TYP. FOUNDATION FOOTING



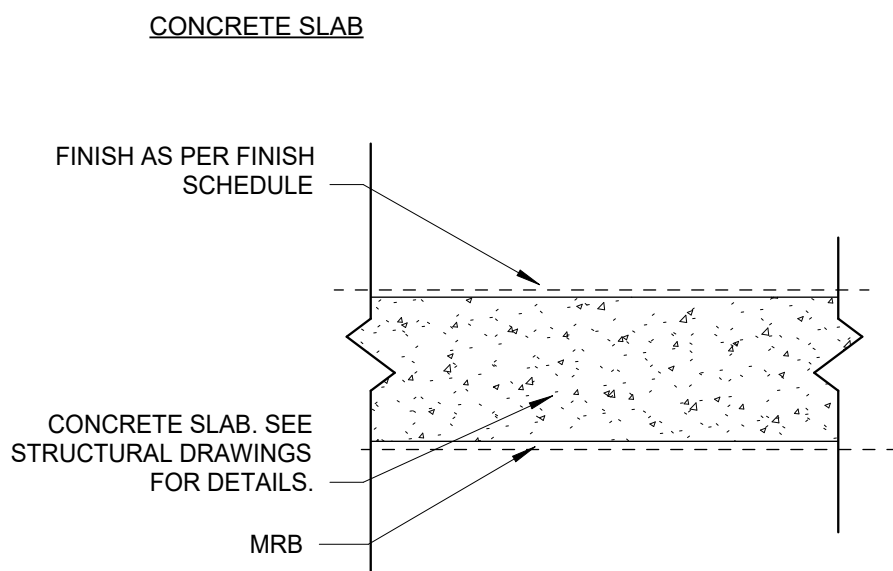
N TYPE 'N'
1 1/2" = 1'-0"

TYP. TRUSS

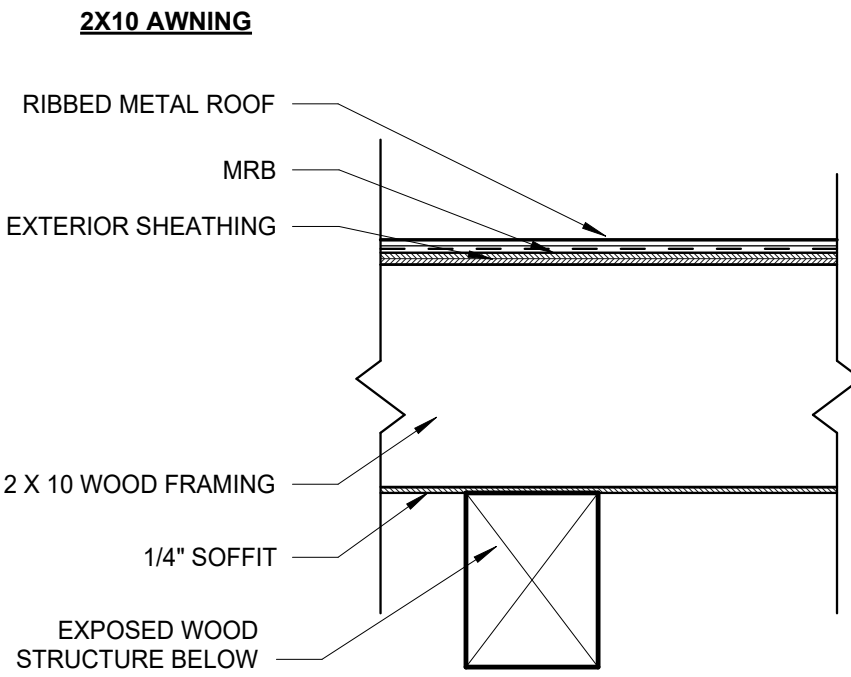


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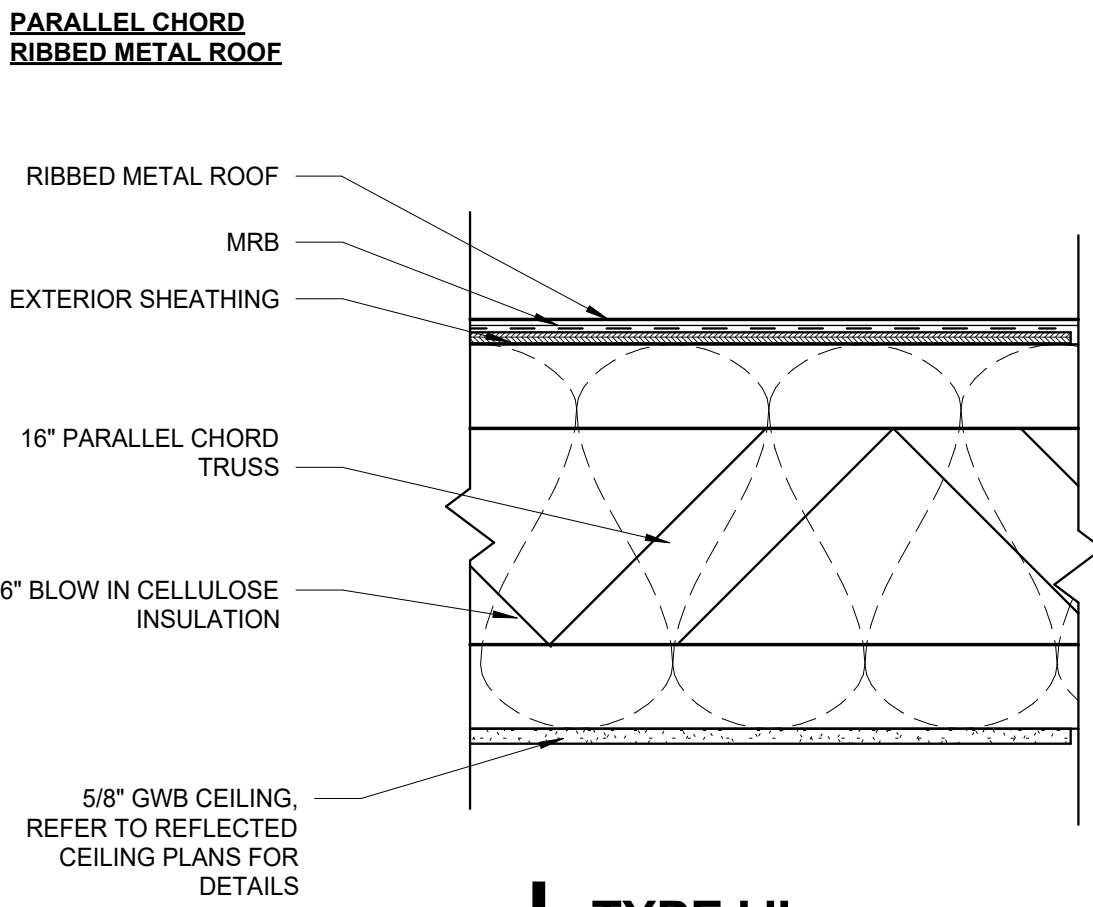
HORIZONTAL ASSEMBLY TYPES



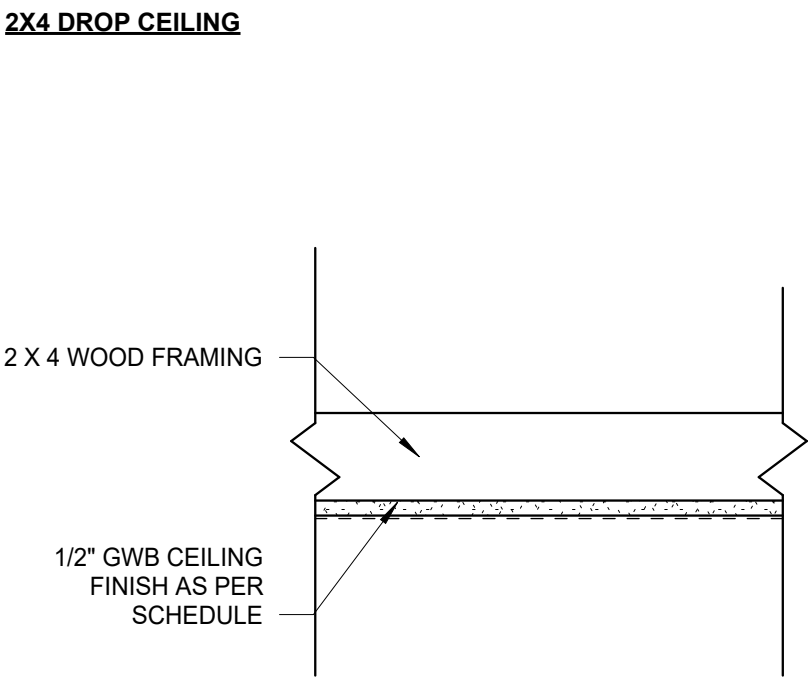
L TYPE 'L'
1 1/2" = 1'-0"



K TYPE 'K'
1 1/2" = 1'-0"

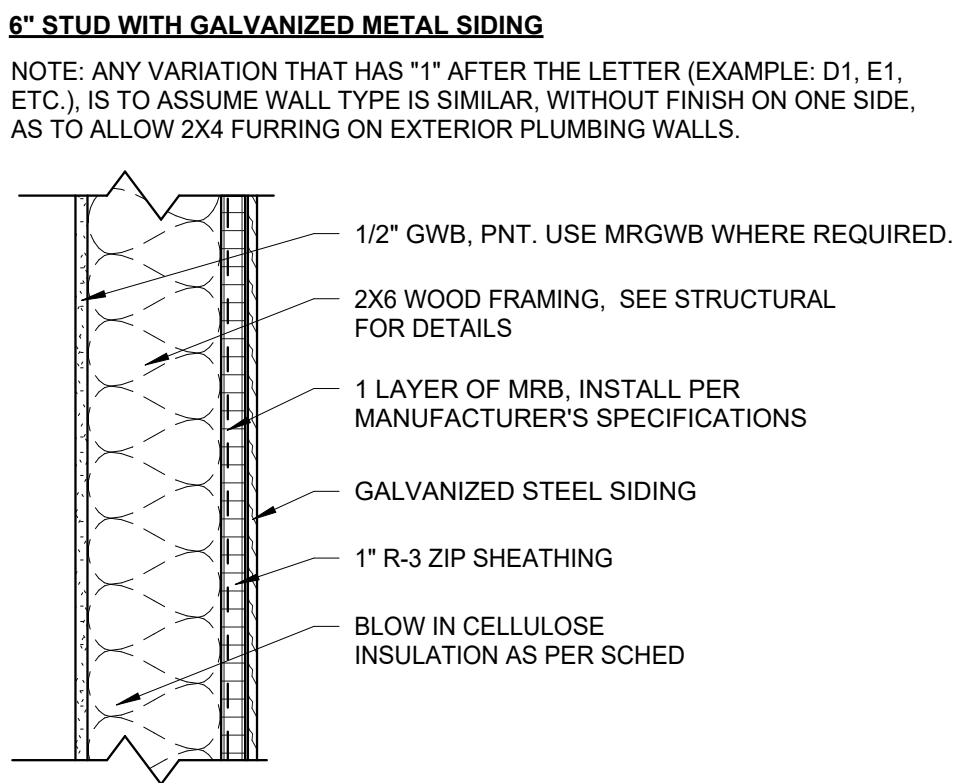


J TYPE 'J'
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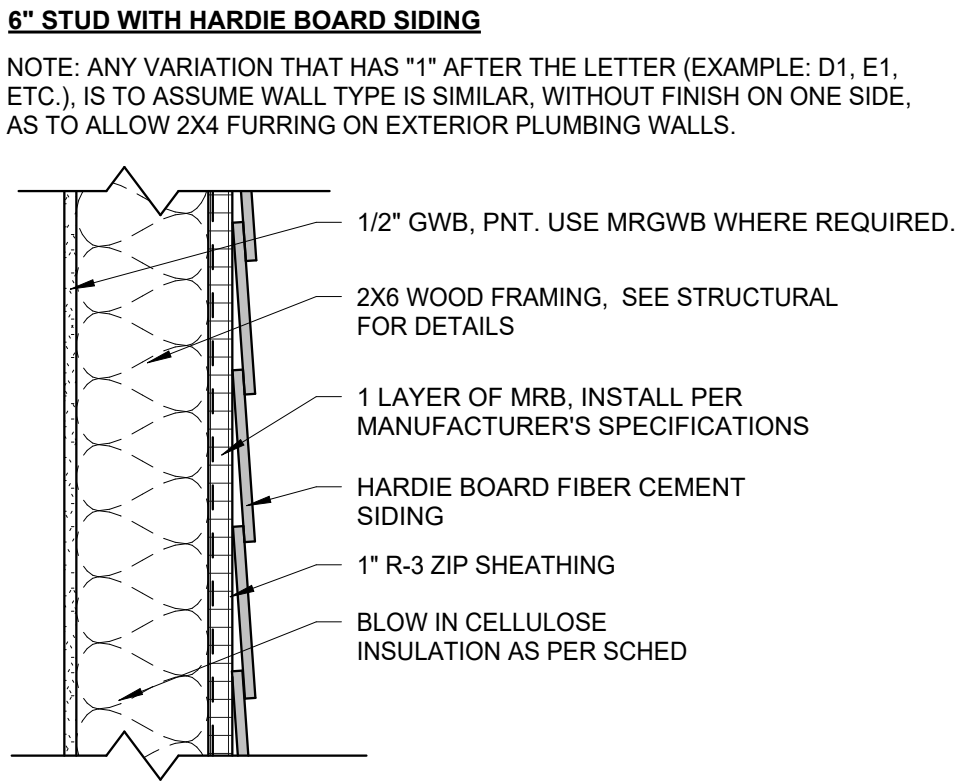


H TYPE 'H'
1 1/2" = 1'-0"

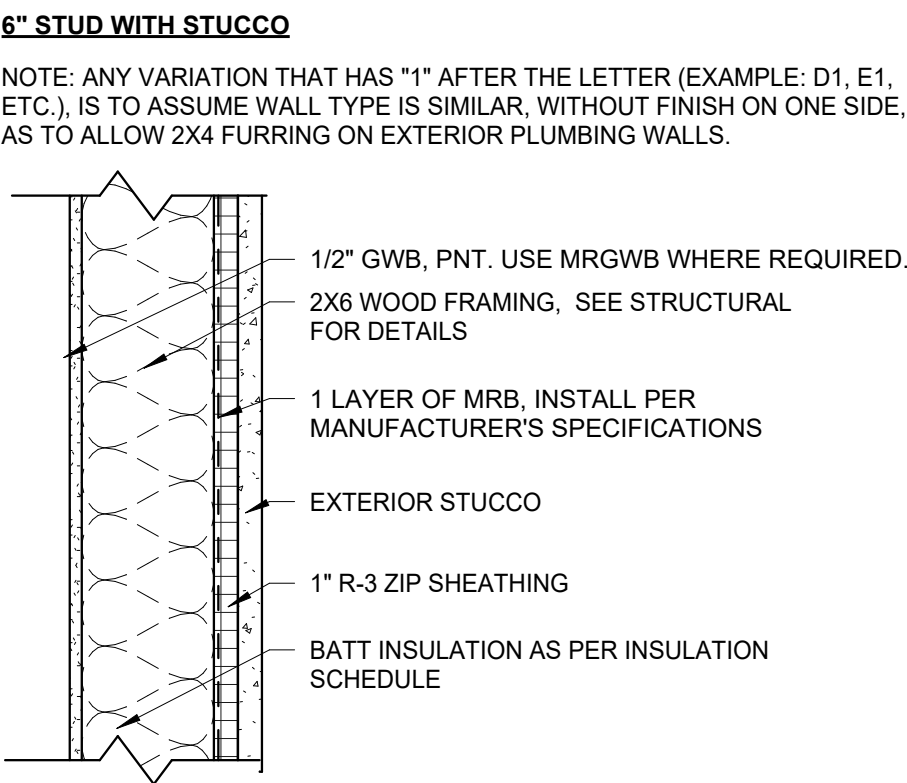
EXTERIOR WOOD STUD WALL TYPES



D TYPE 'D'
1 1/2" = 1'-0"

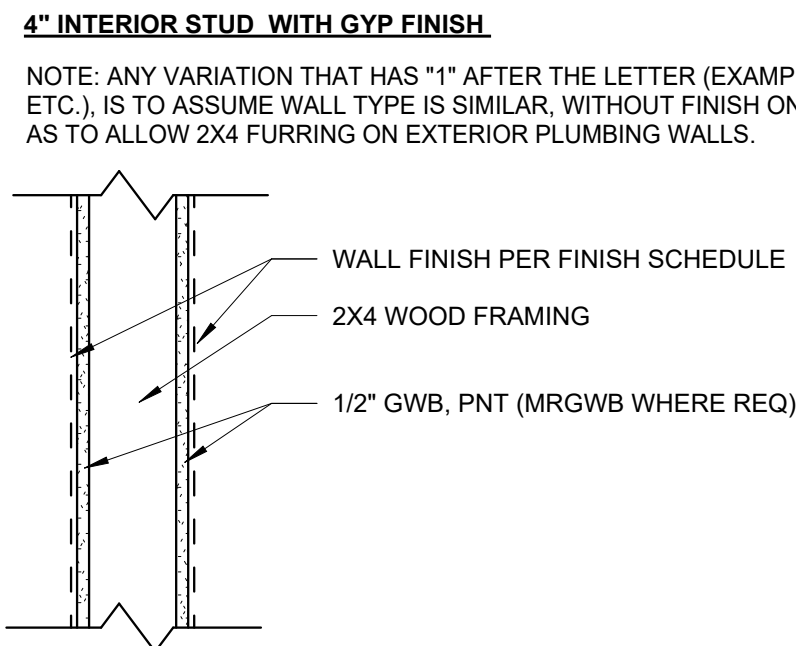


E TYPE 'E'
1 1/2" = 1'-0"

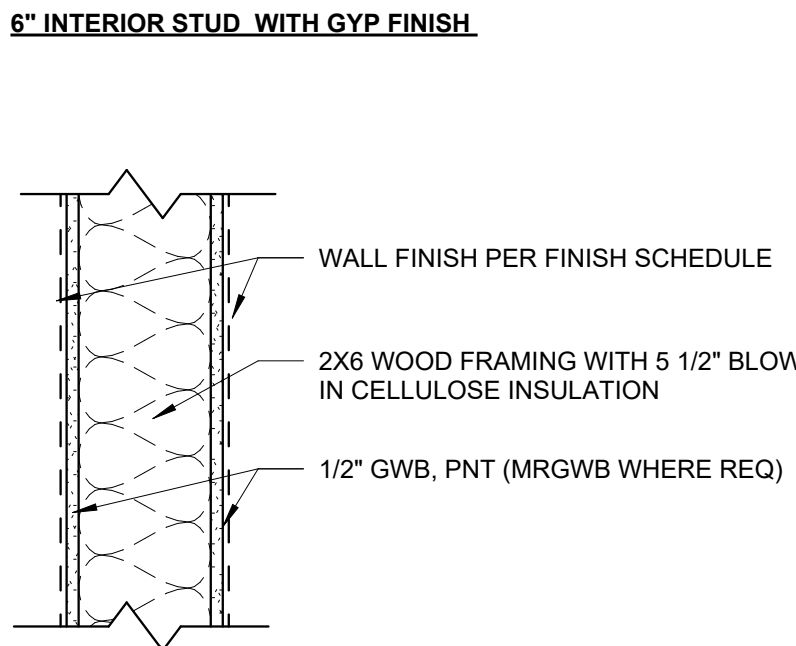


F TYPE 'F'
1 1/2" = 1'-0"

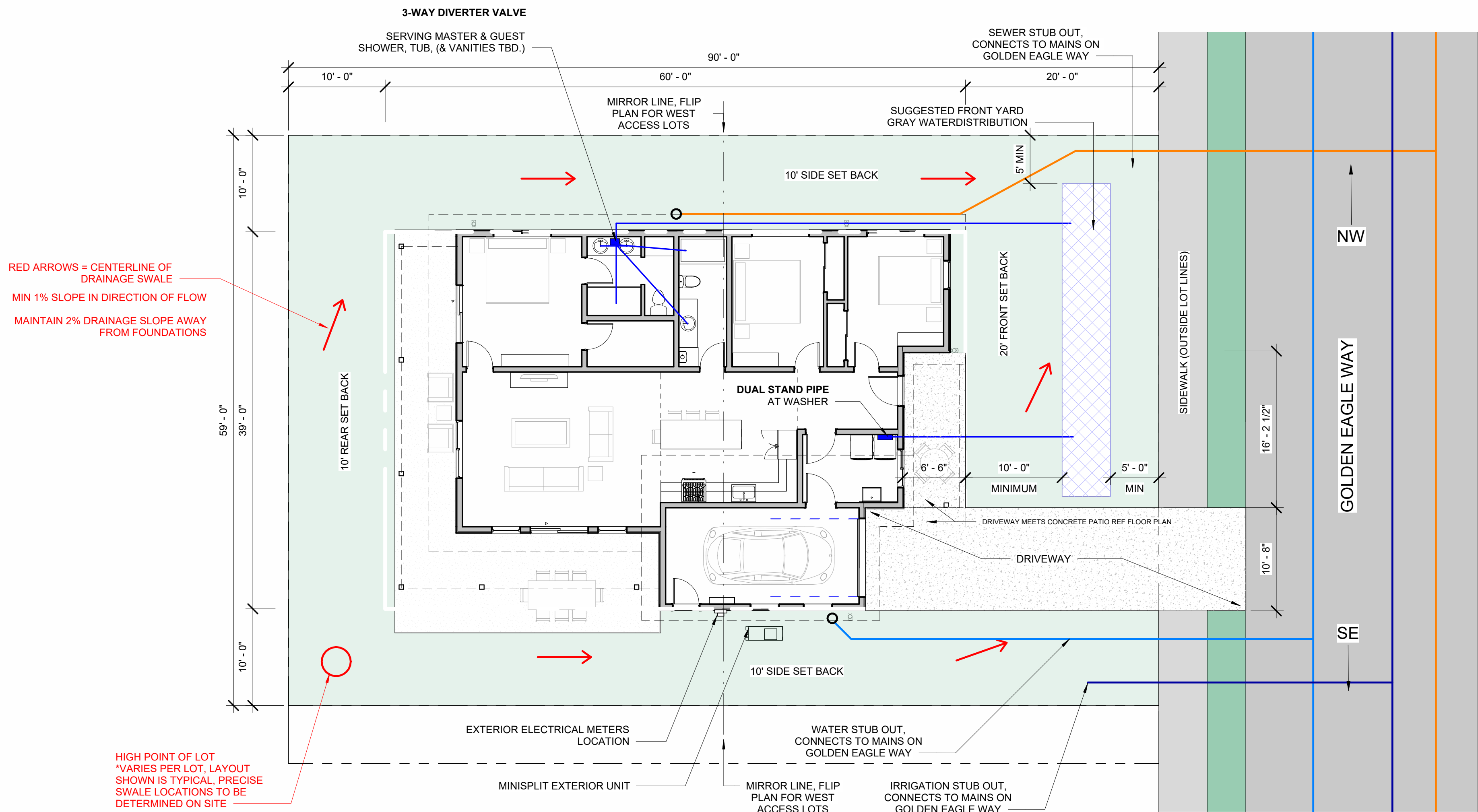
INTERIOR WALL TYPES



B TYPE 'B'
1 1/2" = 1'-0"



A TYPE 'A'
1 1/2" = 1'-0"



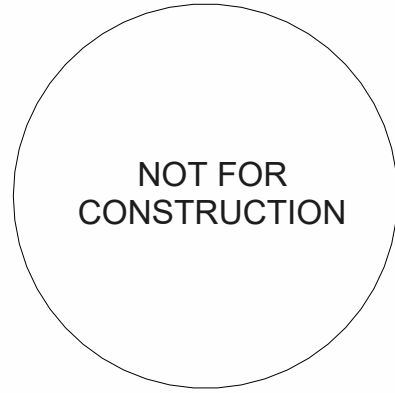
- GENERAL NOTES:**
- A. ALL WATER IS TO BE DIRECTED AWAY FROM HOUSE. LANDSCAPING AND SPLASH BLOCKS TO ENSURE WATER IS DEPOSITED A MINIMUM OF 5' FROM THE FOUNDATION.
 - B. DRAINAGE SWALES TO DIRECT WATER FROM HIGH POINT IN LOT TO STREET / REAR GARDEN, DEPENDING WHICH HAS CLOSER PROXIMITY TO A DEVELOPMENT SWALE, STORM DRAIN SYSTEM OR DETENTION POND. PLOT SWALES TO HAVE MIN 1% SLOPE IN DIRECTION OF FLOW & MAINTAIN 2% DRAINAGE SLOPE AWAY FROM FOUNDATION. REFERENCE CIVIL MASTER DRAINAGE PLAN FOR FURTHER DETAIL.
 - C. CONTRACTOR TO STRING PROPERTY LINES / SETBACKS AT TIME OF FOUNDATION INSPECTION.
 - D. ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT THE PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
 - E. EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE WITH GEOTECHNICAL ENGINEER APPROVAL.
 - F. ANY DAMAGE TO THE EXISTING ROADWAY INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, EXISTING VEGETATION, AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GC TO SATISFACTION OF SPARC.
 - G. ALL DRIVEWAYS, PARKING AND LAYDOWN AREAS TO BE COVERED WITH TWO INCHES OF 3/4" SCREENED ROCK. RECOMMENDED TO DO A MINIMUM OF 8" OR 3" MINUS PITRUN ECHNICAL SEPERATION FABRIC.
 - H. EXCAVATION CONTRACTOR TO PROVIDE TEMPORARY SURFACE RUNOFF CONTROL AS APPROPRIATE FOR SITE

STANDARD E/W LOT SIZE:
5310 SF

LOT COVERAGE:
1643 GSF BUILT FOOTPRINT
= 30.9% LOT COVERAGE

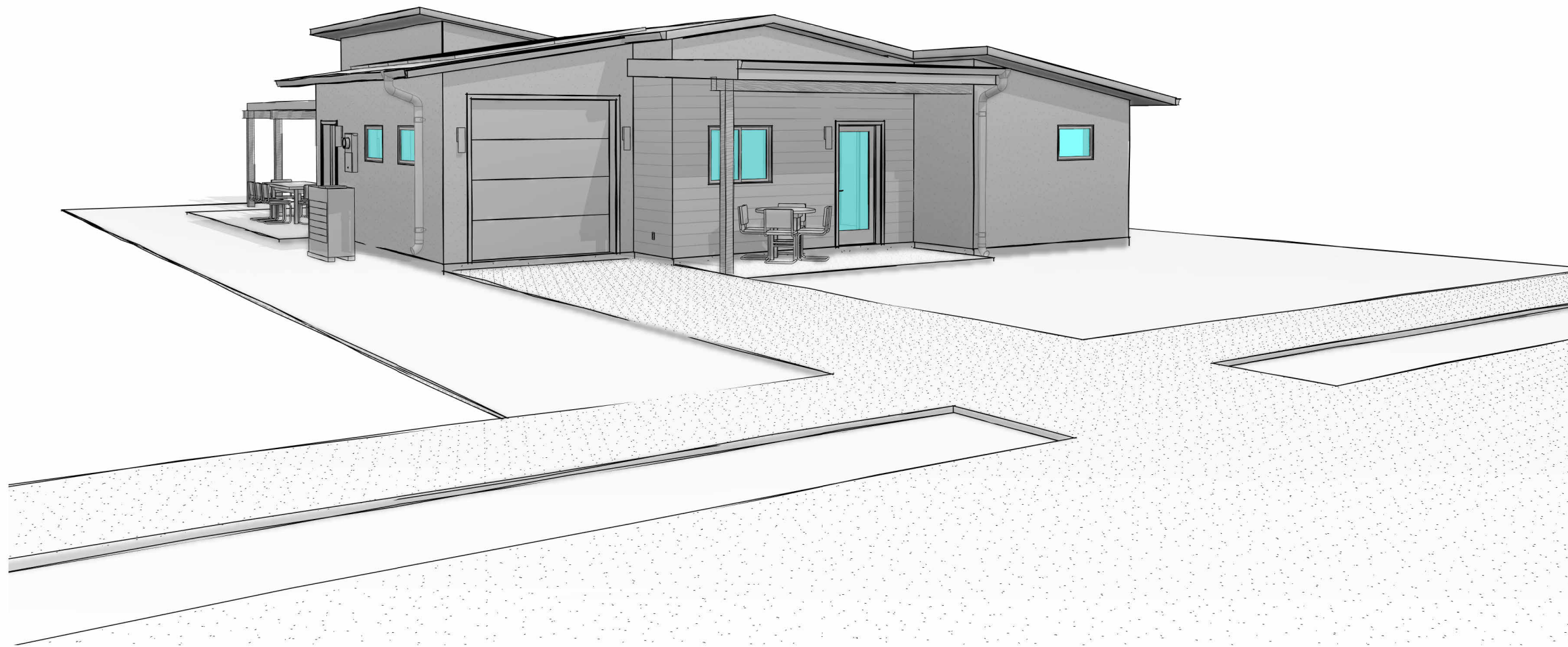
PLEASE NOTE:

THE LOCATION OF GRAY WATER STUB OUTS AND GENERAL LAYOUT AND DISTRIBUTION OF THE GRAY WATER SYSTEMS HAVE BEEN DISCUSSED WITH AND AGREED UPON WITH BOTH JEFF ADAMS & ORION ROGERS.

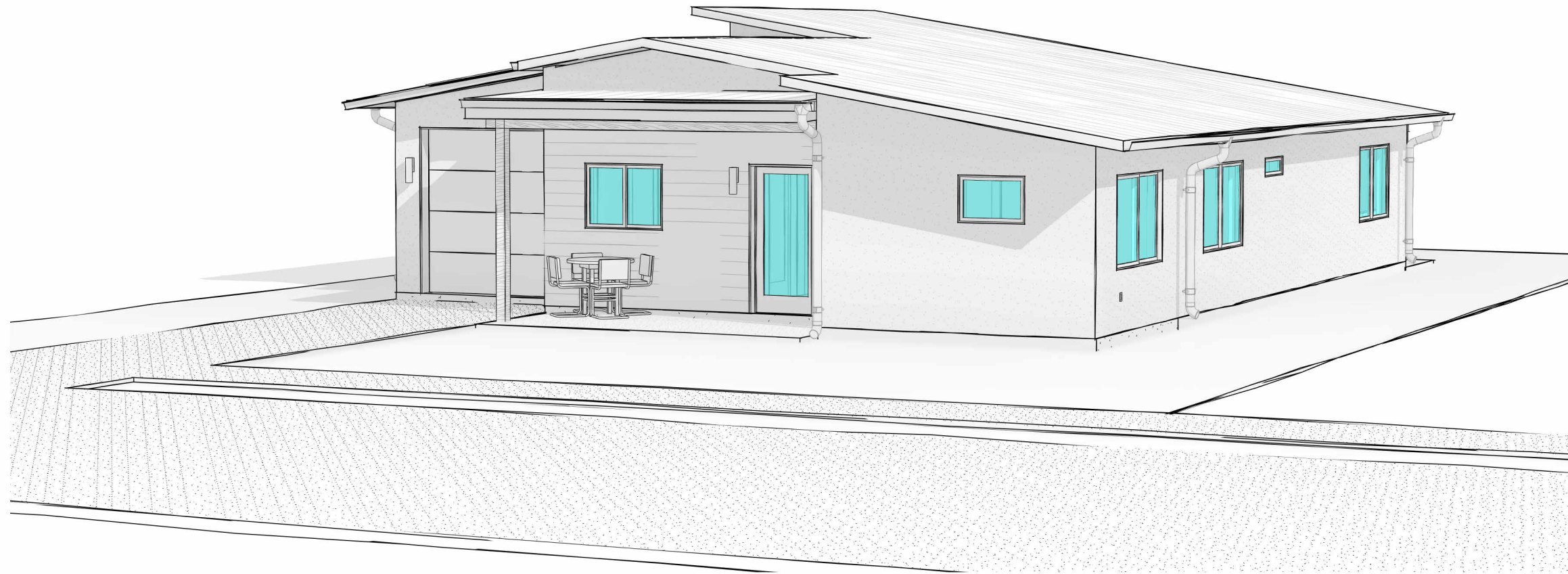


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1 TYPICAL SITE PLAN - 3-BED, EAST ACCESS
1/8" = 1'-0"
FOR WEST ACCESS PROPERTIES OFF NIGHTHAWK LANE, PLAN IS MIRRORED ALONG CENTERLINE



2 S/E APPROACH



3 N/W APPROACH

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1 AREA PLAN
3/16" = 1'-0"

AREA LEGEND

- CONDITIONED
- PATIO/COVERED
- UNCONDITIONED

AREA ANALYSIS

	TOTAL
CONDITIONED	1,422 SF
UNCONDITIONED GARAGE / MECH	221 SF
EXTERIOR COVERED PORCH / PATIO	476 SF
BUILDING MAIN INTERNAL+ EXTERNAL	2,119 SF
BUILDING MAIN INTERNAL (CONDITIONED+UNCONDITIONED)	1,643 GSF

DEFINITIONS:

SQUARE FOOT: As defined by ANSI Z765-2003: Livable floor area as measured from exterior dimensions including thickness of all walls, interior and exterior, excluding fireplace bump-outs, mechanical spaces, garage spaces, and unfinished basement and/or attic space.

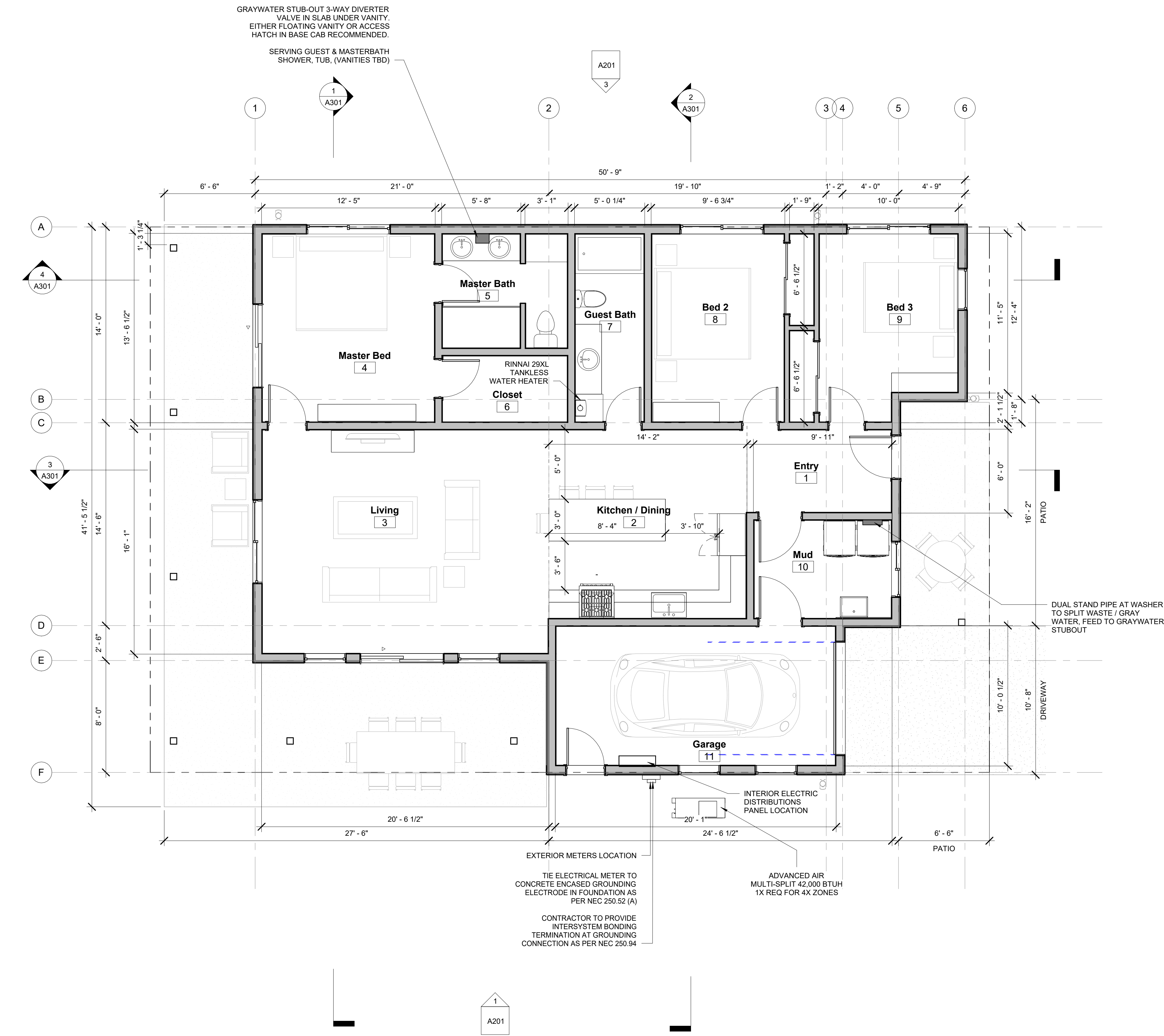
GROSS SQUARE FOOT: Total building area as measured from exterior dimensions including thickness of all walls, interior and exterior, mechanical spaces, garage spaces, and accessible un-finished space; does NOT include crawl spaces, patios and decks.

AREA SCHEDULE			
Area Type	Level	Name	Area
Building Common Area	Level 1	BED 3	157 SF
Building Common Area	Level 1	CLOSET	50 SF
Building Common Area	Level 1	ENTRY	70 SF
Building Common Area	Level 1	GUEST BATH	80 SF
Building Common Area	Level 1	GUEST BED	155 SF
Building Common Area	Level 1	KITCHEN / DINING	201 SF
Building Common Area	Level 1	LIVING	352 SF
Building Common Area	Level 1	MASTER BATH	85 SF
Building Common Area	Level 1	MASTER BED	187 SF
Building Common Area	Level 1	MUDROOM	85 SF
Building Common Area			1422 SF
Exterior Area	Level 1	BACK PATIO	372 SF
Exterior Area	Level 1	FRONT PORCH	104 SF
Exterior Area			476 SF
Store Area	Level 1	GARAGE	221 SF
Store Area			221 SF

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1 FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
- B. HOLD ALL "CLEAR" INTERIOR ROOM DIMENSIONS TO FACE OF FINISH.
- C. SEE SHEET A001 FOR ASSEMBLY TYPES
- D. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
- E. ALL AUDIBLE AND VISUAL ALARMS SHALL COMPLY WITH PROVISIONS OF THE NFPA 72.
- F. REFER TO SPECIFICATIONS FOR INTERIOR FINISH INDEX.
- G. CENTER ALL DOORS ABOUT WALL SPACE U.N.O.

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HASU - 3BED - SINGLE GARAGE

AROYO CROSSING
MOAB, UT 84532

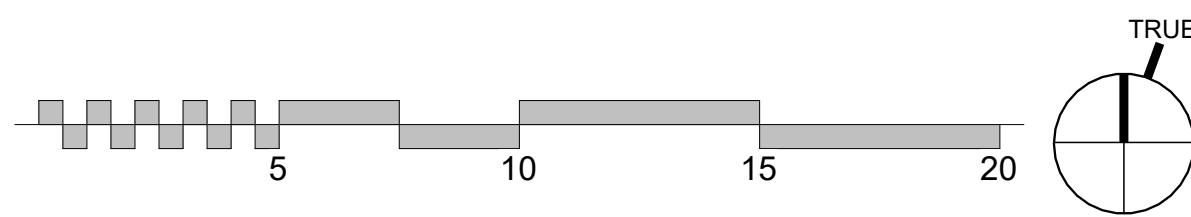
MAIN FLOOR
PLAN 3 BED

SHEET NUMBER

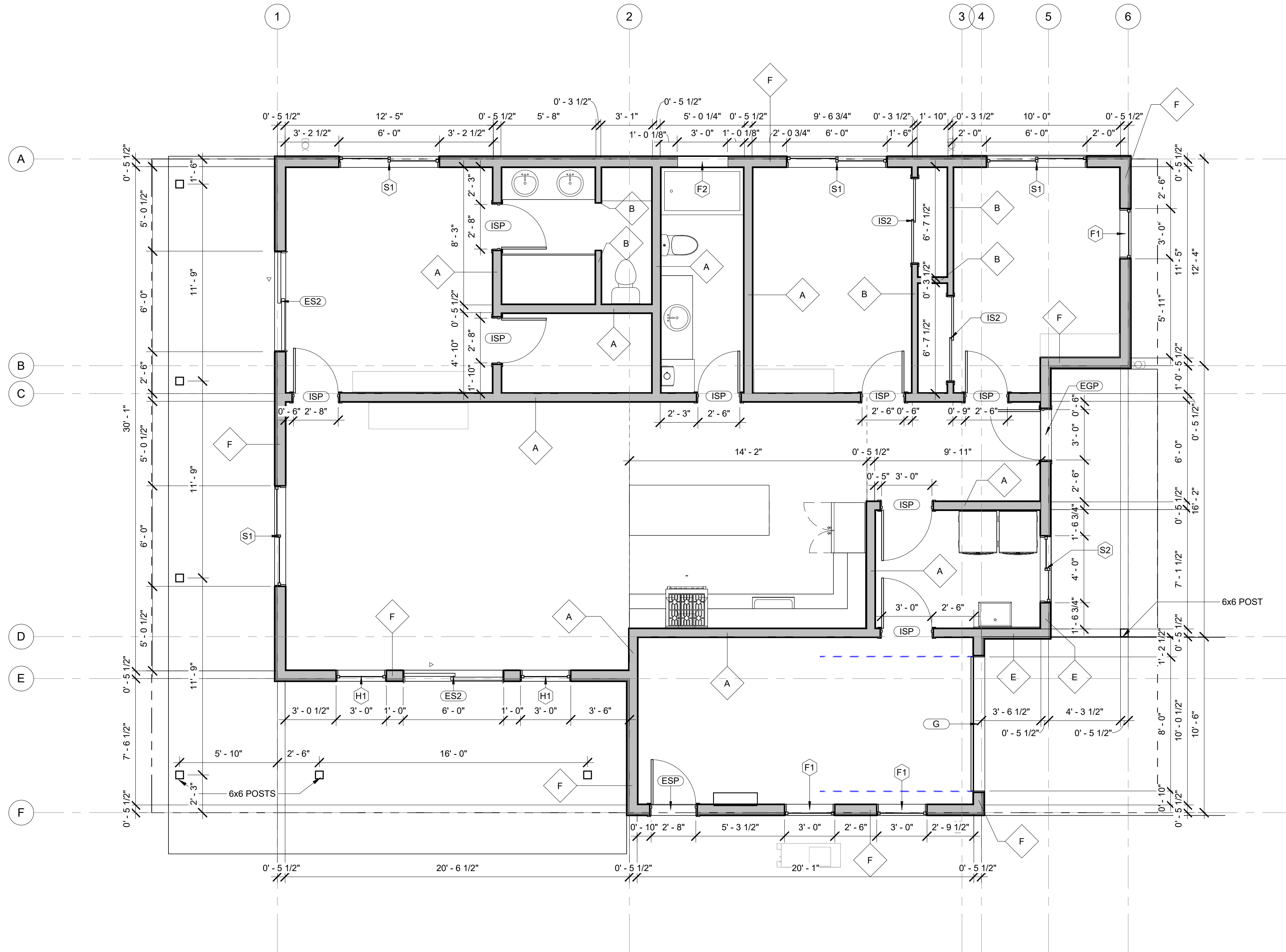
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1 FRAMING PLAN

$$1/4'' = 1'-0''$$

GENERAL NOTES:

- A. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
- B. HOLD ALL "CLEAR" INTERIOR ROOM DIMENSIONS TO FACE OF FINISH
- C. SEE SHEET A001 FOR ASSEMBLY TYPES
- D. SEE SHEET A001 FOR DOOR AND WINDOW SCHEDULES.
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- F. REFER TO SPECIFICATIONS FOR INTERIOR FINISH INDEX.
- G. CENTER ALL DOORS ABOUT WALL SPACE U.N.O.

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HASU - 3BED - SINGLE GARAGE

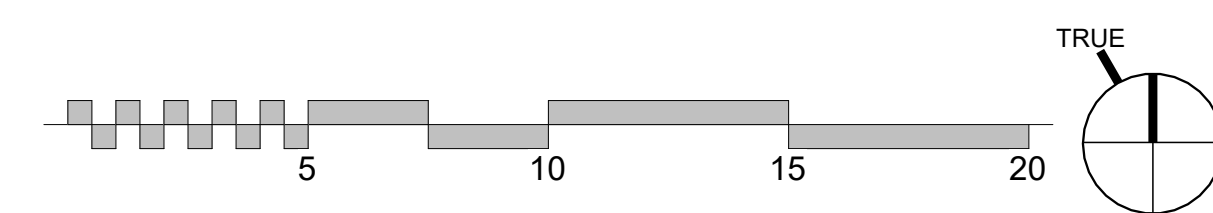
AROYO CROSSING
MOAB, UT 84532

MAIN FLOOR FRAMING 3 BED

SHEET NUMBER

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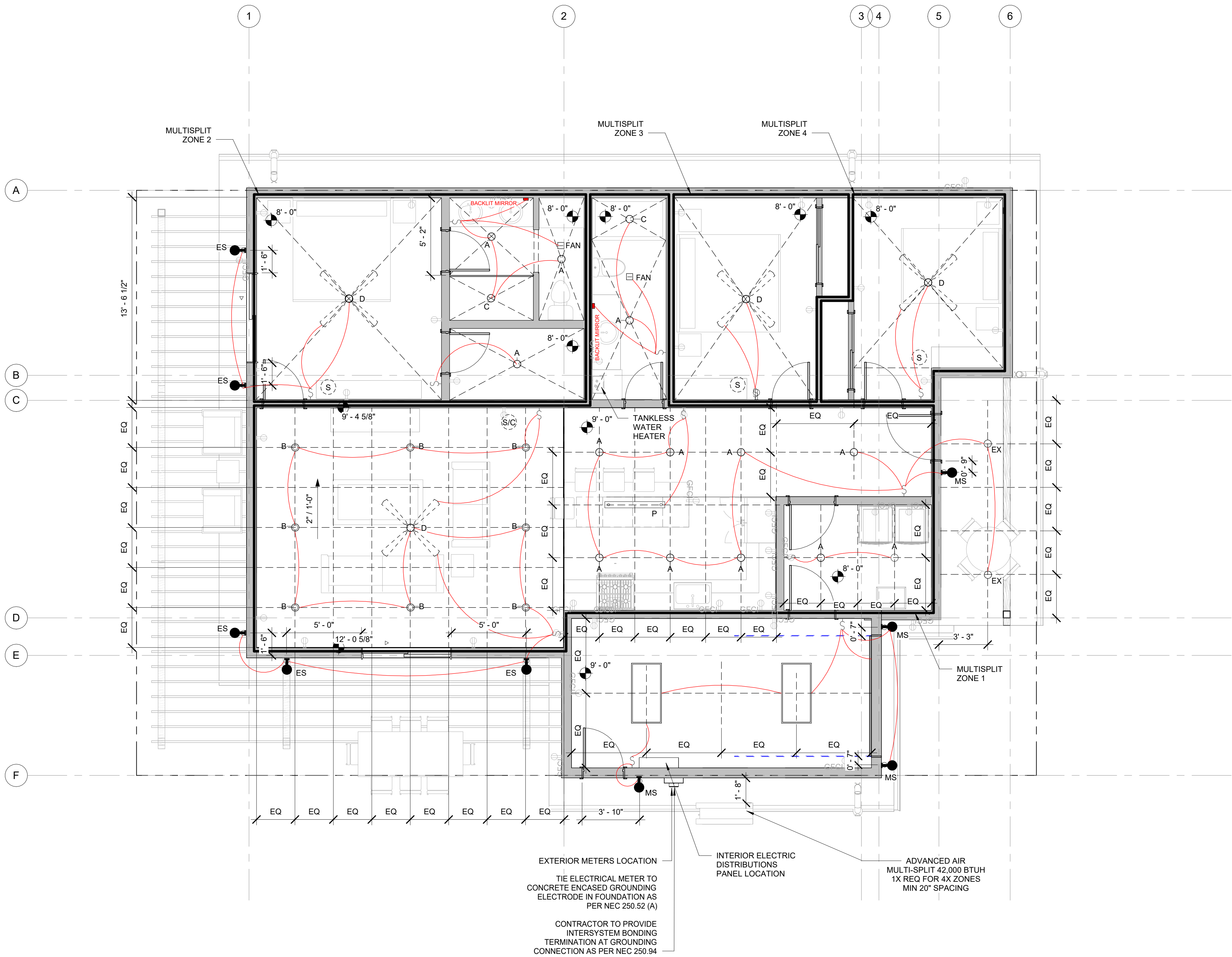


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512-656-1745

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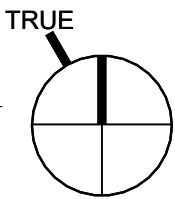
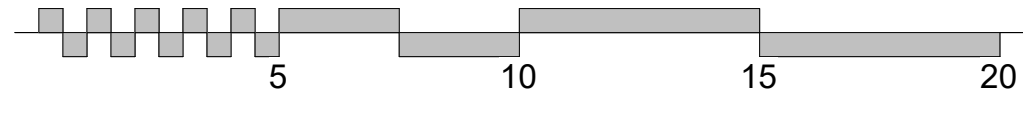
1 REFLECTED CEILING PLAN / LIGHTING LAYOUT
1/4" = 1'-0"

RCP / ELECTRICAL NOTES:

- CONTRACTOR TO CONFIRM ALL OUTLET LOCATIONS DURING WALK THROUGH WITH ARCHITECT AND OWNER. LOCATIONS TO MEET ALL GFI AND DIMENSIONAL CODE REQUIREMENTS.
- CONTRACTOR TO CONFIRM ALL SWITCH LOCATIONS DURING WALK THROUGH WITH ARCHITECT AND OWNER. LOCATIONS TO MEET ALL GFI AND DIMENSIONAL CODE REQUIREMENTS.
- CONTRACTOR TO CONFIRM ALL FIRE DETECTION & CARBON MONOXIDE DETECTION DEVICES DURING WALK THROUGH WITH ARCHITECT AND OWNER. LOCATIONS TO MEET ALL GFI AND DIMENSIONAL CODE REQUIREMENTS.
- EXTERIOR LIGHT FIXTURES TO MEET DARK SKY REGULATIONS. ARCHITECT TO CONFIRM SPECIFICATIONS PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE TYPICAL SPECIFICATIONS FOR CANS, FLUORESCENT LIGHTS, AND ALL NON DECORATIVE LIGHT FIXTURES TO ARCHITECT FOR APPROVAL.
- ALL GFCI RECEPTACLES LOCATED ON EXTERIOR OF BUILDING TO BE WEATHERPROOF.
- NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. PROVIDE ALL WIRE NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON PLAN OR NOT.
- ALL RECEPTACLES TO BE TAMPER-RESISTANT.
- LAUNDRY AREA TO HAVE DEDICATED 20 AMP GFI PROTECTED RECEPTACLE CIRCUIT WITH THE RESET IN A READILY ACCESSIBLE LOCATION.
- KITCHEN AREA TO HAVE TWO DEDICATED 20 AMP GFI PROTECTED RECEPTACLE CIRCUITS WITH THE RESET IN A READILY ACCESSIBLE LOCATION. RECEPTACLES IN THE KITCHEN ISLAND TO BE SERVED BY ONE OF THE TWO REQUIRED 20 AMP GFI PROTECTED SMALL APPLIANCE BRANCH CIRCUITS.
- DEDICATED FRIDGE, MICROWAVE, RANGE, DISHWASHER OUTLETS CONCEALED BEHIND LOCATIONS SHOWN ON FLOOR PLAN.
- RECEPTACLES IN BATHROOMS TO BE GFI PROTECTED.
- RECEPTACLES IN GARAGE LID FOR DOOR OPENER ARE GFI PROTECTED WITH RESET IN A READILY ACCESSIBLE LOCATION.
- ALL CIRCUITS SERVING SLEEPING ROOMS TO BE AFCI PROTECTED
- ALL SMOKE AND CARBON DETECTORS TO BE HARDWIRED AND CONNECTED TO THE AFCI PROTECTED CIRCUITS
- PARKING SPACE TO HAVE 1X DEDICATED 240 VOLT / 50 AMP CIRCUIT BREAKER DEDICATED TO SINGLE OUTLET USING A 'NEMA 14-50 PLUG' FOR ELECTRIC VEHICLE CHARGING
- AT EXTERIOR METER LOCATION, CONCRACTOR TO TIE ELECTRICAL METER TO CONCRETE ENCASED GROUNDING ELECTRODE IN FOUNDATION AS PER NEC 250.52 (A)
- AT EXTERIOR ELECTRIC METER LOCATIONCONTRACTOR TO PROVIDE INTERSYSTEM BONDING TERMINATION AT GROUNDING CONNECTION AS PER NEC 250.94

- CAN LIGHT, TYPICAL
- CAN LIGHT, SLOPED LOCATION
- CAN LIGHT, DAMP LOCATION
- WET-RATED EXTERIOR DISC LED LIGHT
- CEILING FAN / LIGHT FIXTURE
- CEILING FAN / LIGHT SUPPLY FOR OWNER PROVIDED FIXTURE
- FLORESCENT LIGHT
- MULTISPLIT ZONE
- LINEAR PENDANT LIGHT
- WALL SCONCE (EXTERIOR); DARK SKY COMPLIANT
- WALL SCONCE (EXTERIOR); MOTION SENSOR ACTIVATE, DARK SKY COMPLIANT
- EXHAUST FAN
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- SWITCH
- RECEPTACLE OUTLET
- GROUND-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE OUTLET
- GROUND-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE OUTLET - ABOVE COUNTER
- JUNCTION BOX FOR HARDWIRED INTERNALLY LIT VANITY MIRROR

LIGHTING LEGEND
1/4" = 1'-0"



HASU - 3BED - SINGLE GARAGE

MAIN FLOOR
RCP 3 BED

SHEET NUMBER

A120

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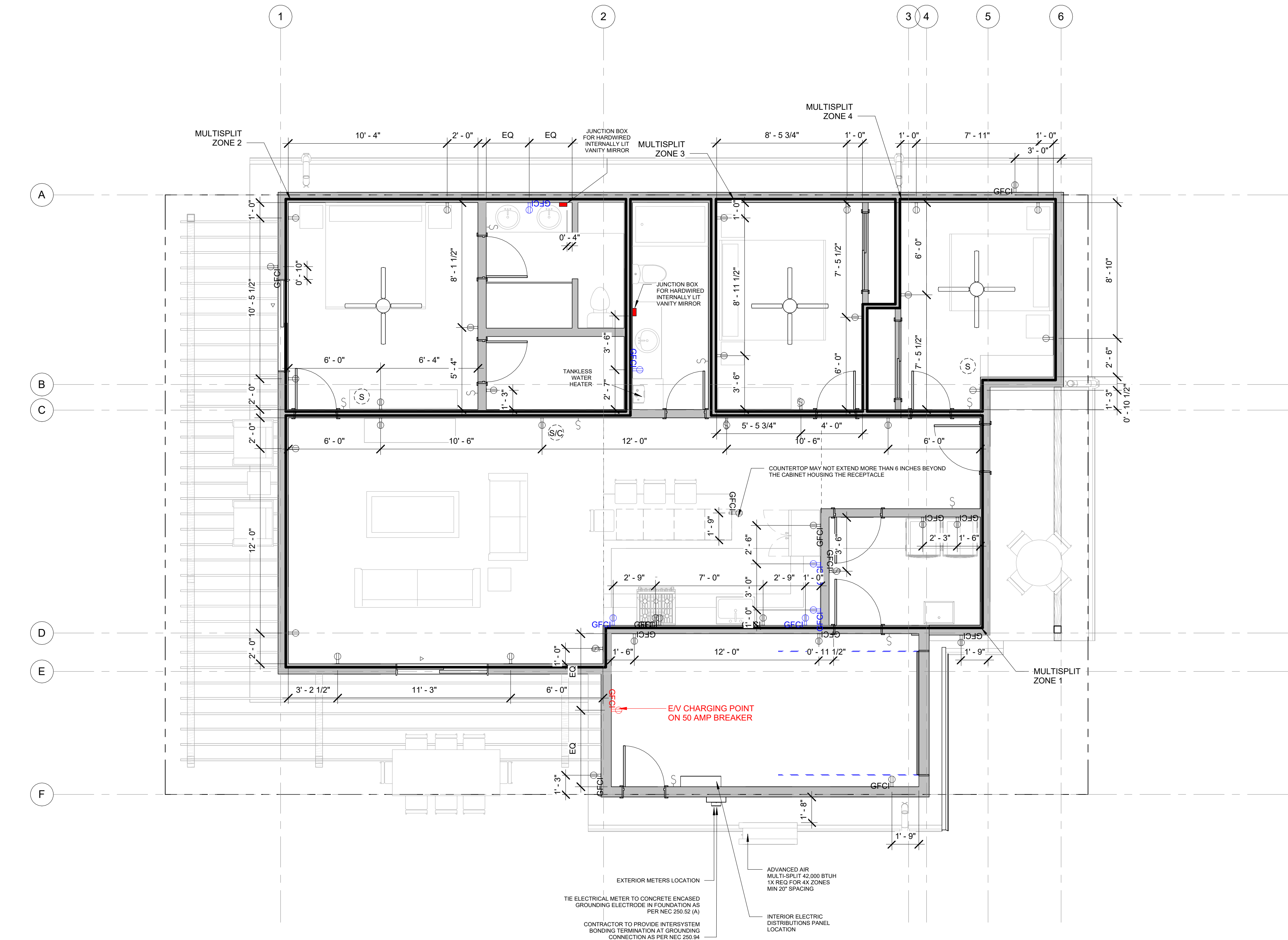
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2 REFLECTED CEILING PLAN / RECEPTACLE LAYOUT
1/4" = 1'-0"

RCP / ELECTRICAL NOTES:

1. CONTRACTOR TO CONFIRM ALL OUTLET LOCATIONS DURING WALK THROUGH WITH ARCHITECT AND OWNER. LOCATIONS TO MEET ALL GFI AND DIMENSIONAL CODE REQUIREMENTS.
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3. CONTRACTOR TO CONFIRM ALL FIRE DETECTION & CARBON MONOXIDE DETECTION DEVICES DURING WALK THROUGH WITH ARCHITECT AND OWNER. LOCATIONS TO MEET ALL GFI AND DIMENSIONAL CODE REQUIREMENTS.
4. EXTERIOR LIGHT FIXTURES TO MEET DARK SKY REGULATIONS. ARCHITECT TO CONFIRM SPECIFICATIONS PRIOR TO INSTALLATION.
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14. ALL CIRCUITS SERVING SLEEPING ROOMS TO BE AFCI PROTECTED
15. ALL SMOKE AND CARBON DETECTORS TO BE HARDWIRED AND CONNECTED TO THE AFCI PROTECTED CIRCUITS
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17. AT EXTERIOR METER LOCATION, CONCRACTOR TO TIE ELECTRICAL METER TO CONCRETE ENCASED GROUNDING ELECTRODE IN FOUNDATION AS PER NEC 250.52 (A)
18. AT EXTERIOR ELECTRIC METER LOCATIONCONTRACTOR TO PROVIDE INTERSYSTEM BONDING TERMINATION AT GROUNDING CONNECTION AS PER NEC 250.94

- CAN LIGHT; TYPICAL
- CAN LIGHT; SLOPED LOCATION
- CAN LIGHT; DAMP LOCATION
- WET-RATED EXTERIOR DISC LED LIGHT
- CEILING FAN / LIGHT FIXTURE
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- WALL SCONCE (EXTERIOR); MOTION SENSOR ACTIVATE, DARK SKY COMPLIANT
- EXHAUST FAN
- SMOKE DETECTOR
- SMOKE / CARBON MONOXIDE DETECTOR
- SWITCH
- RECEPTACLE OUTLET
- GROUND-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE OUTLET
- GROUND-FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE OUTLET - ABOVE COUNTER
- JUNCTION BOX FOR HARDWIRED INTERNALLY LIT VANITY MIRROR

LIGHTING LEGEND
1/4" = 1'-0"

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REVISIONS:
2021 08 11 PERMIT #1
2022 09 07 PHASE 2 PROPOSAL

HASU - 3BED - SINGLE GARAGE

AROYO CROSSING
MOAB, UT 84532

OUTLET PLAN 3 BED

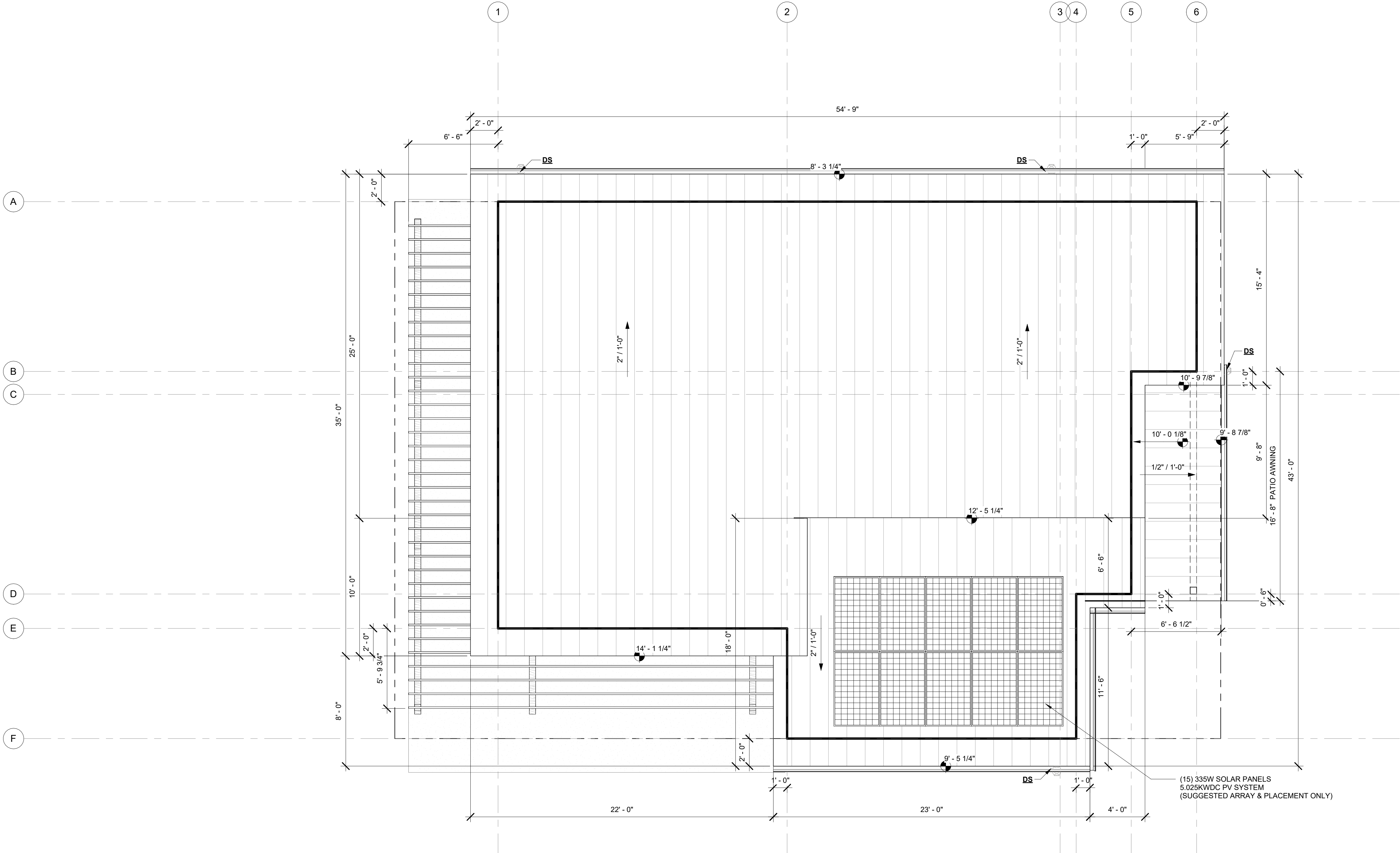
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1 ROOF PLAN - 3-BED
1/4" = 1'-0"

GENERAL NOTES:

- A. ALL ROOFS TO ACHIEVE CLASS 'A' FIRE RATING BY INSTALLING REQUIRED ROOFING UNDERLAYMENT AT ALL LOCATIONS WHERE PRIMARY ROOF MATERIAL DOES NOT ACHIEVE CLASS 'A' RATING. GC TO VERIFY COMPLIANCE.
- B. IT IS **RECOMMENDED** THAT ALL ROOFS RECIEVE BUILD-UP FOR VENTILATED DOUBLE COLD ROOF, COVER BASE LAYER AND TOP LAYER OF PWD WITH SINGLE LAYER OF SELF-ADHERING UNDERLAYMENT AS SPECIFIED. SEE PROJECT SPECIFICATIONS.
- C. ALL RAKE AND EAVE DIMENSIONS TO BE HORIZONTAL DIMENSIONS, NOT ALONG PITCH.
- D. COORDINATE LAYOUT OF ROOF FRAMING WITH EXPOSED RAFTERS WHERE APPLICABLE. SEE REFLECTED CEILING PLAN FOR LOCATIONS (TYP.)
- E. VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS AND TYPES WITH ARCHITECT PRIOR TO INSTALLATION.
- F. LIGHTING PROTECTION IS RECOMMENDED, REFER TO MANUFACTURER FOR LIGHTNING ROD AND GROUND ROD LOCATIONS AS IMPLEMENTED.
- G. ALL ROOF PENETRATION LOCATIONS INCLUDING, BUT NOT LIMITED TO: FLUES, VENTILATION PIPES AND STACKS SHALL BE SUBMITTED TO ARCHITECT AND ROOFING MANUFACTURER FOR REVIEW. (NOTE: NOT ALL ROOF PENETRATIONS MAY BE SHOWN ON PLAN).
- H. DIVERTER FLASHING SHALL BE INSTALLED WHERE A LOWER SLOPED ROOF TERMINATES AGAINST A VERTICAL WALL, CHIMNEY CHASE, OR FRAMED COLUMN.
- I. FLASHING AT PLUMBING VENTS TO MATCH ROOF MATERIAL.
- J. HOME IS TO HAVE CONDUIT AND ELECTRICAL INFRASTRUCTURE TO SUPPORT A FUTURE SOLAR SYSTEM, BY OTHER
- K. SOLAR PERMIT TO BE PREPARED AND SUBMITTED BY FUTURE INSTALLER. ARRAY SHOWN IS ONLY SUGGESTED AT THIS TIME.

DS = SUGGESTED DOWNSPOUT LOCATION. TBD W/ CONTRACTOR

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HASU - 3BED - SINGLE GARAGE

AROYO CROSSING
MOAB, UT 84532

ROOF PLAN
3 BED

SHEET NUMBER

A130

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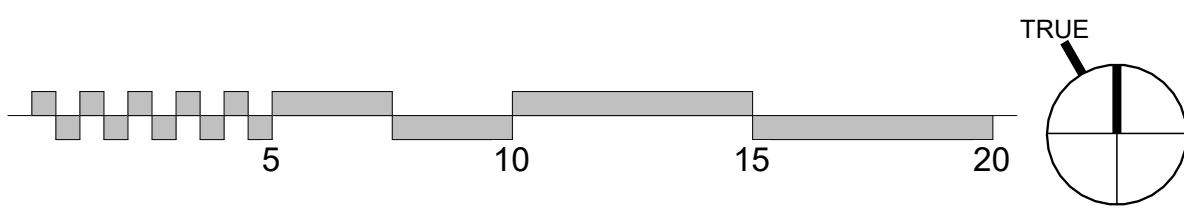
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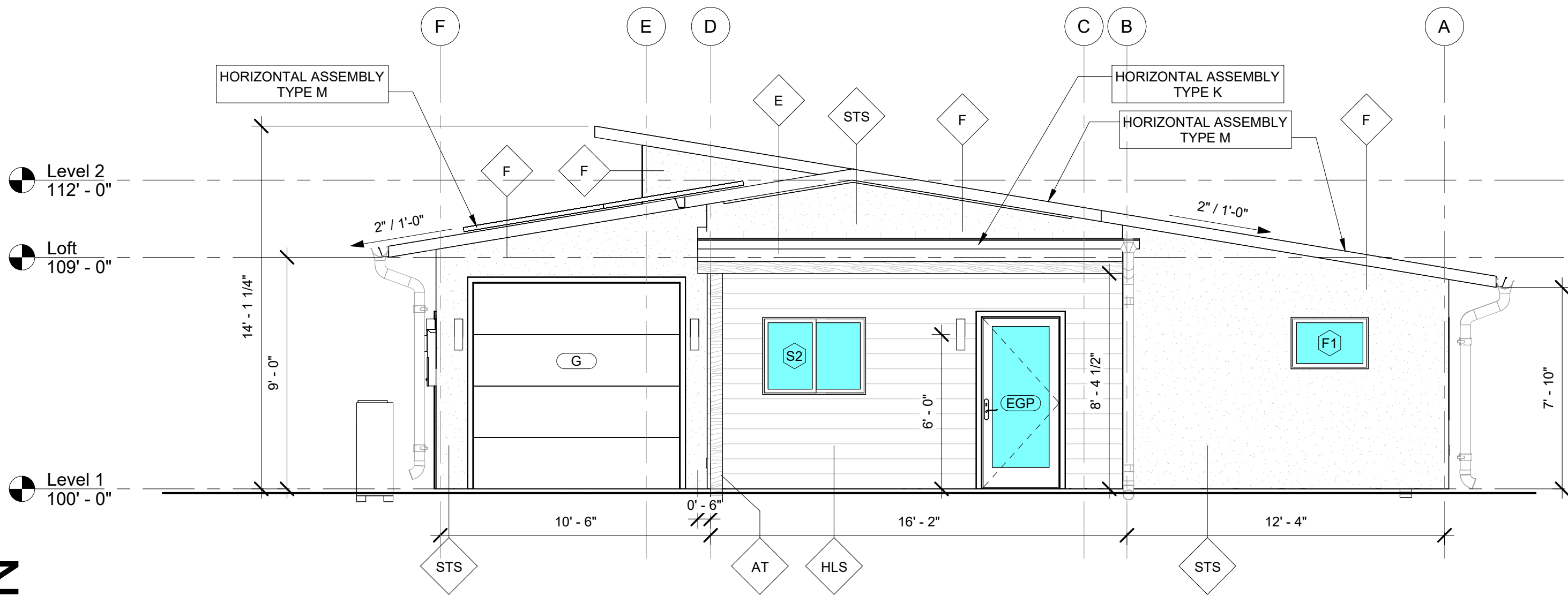
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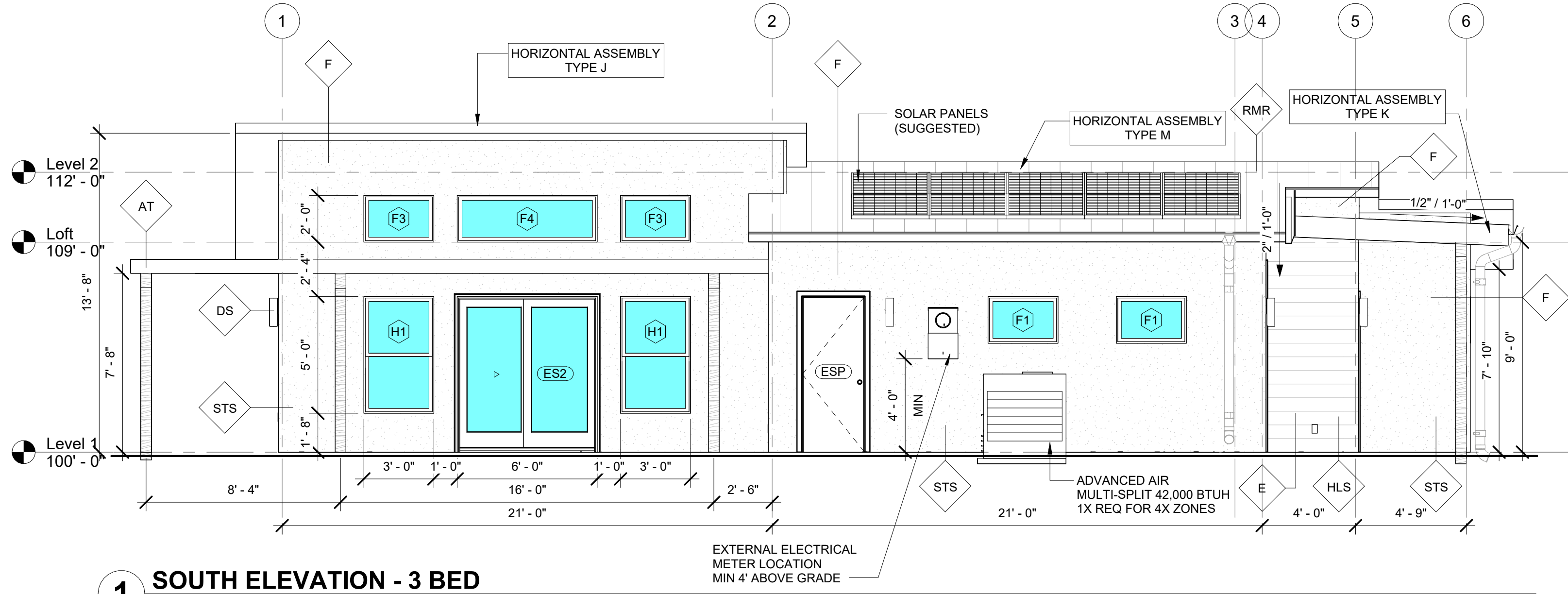
Info@Arch-Squared.com
PO BOX 1153, MOAB, UTAH 84532
512-666-1745



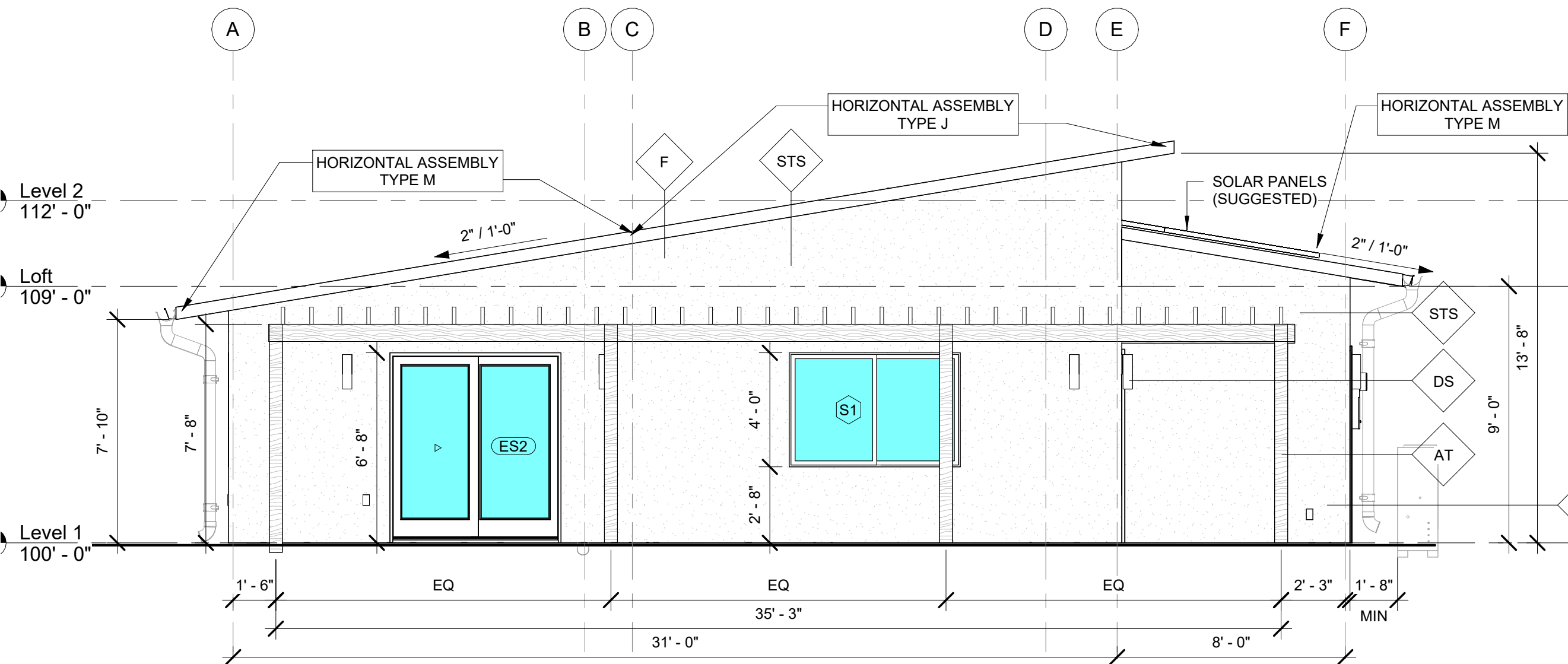
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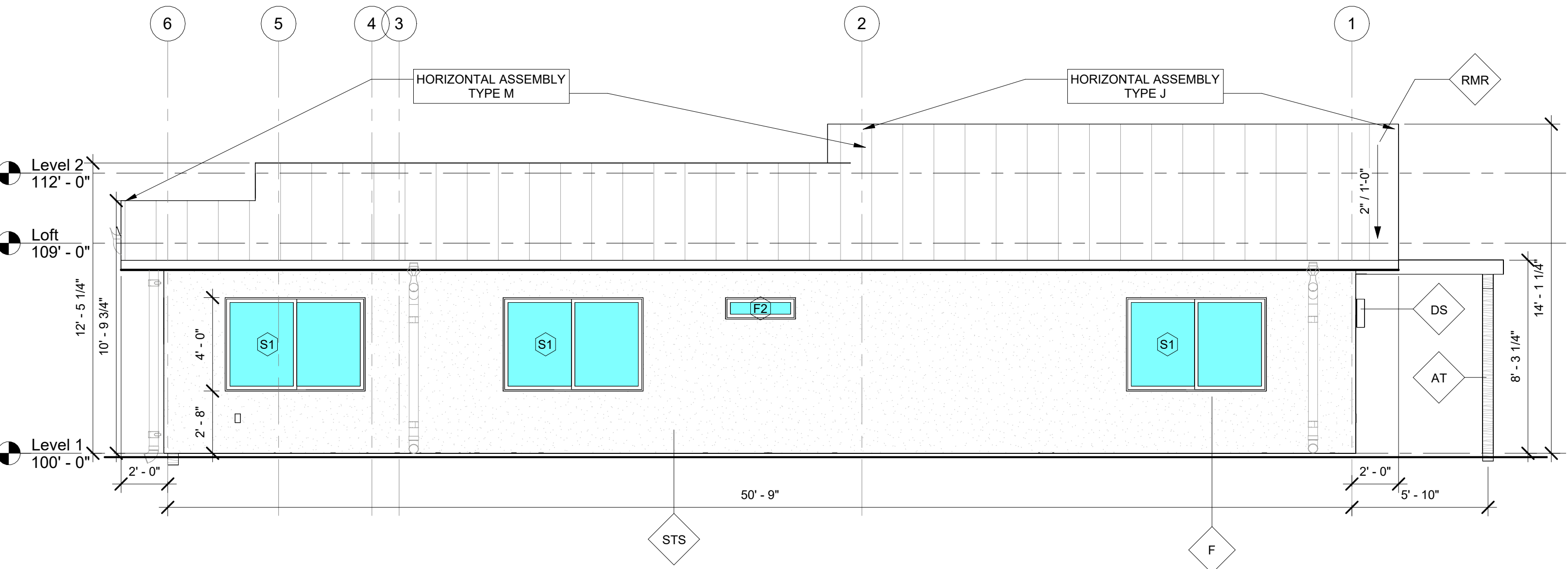
5 EAST ELEVATION - 3 BED
1/4" = 1'-0"



1 SOUTH ELEVATION - 3 BED
1/4" = 1'-0"

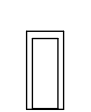
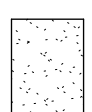
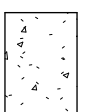
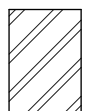
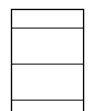
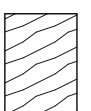
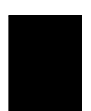
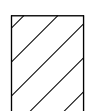
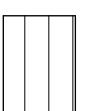


2 WEST ELEVATION - 3 BED
1/4" = 1'-0"



3 NORTH ELEVATION - 3 BED
1/4" = 1'-0"

MATERIALS

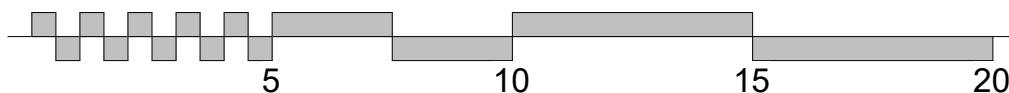
 DS	EXTERIOR SCONCES, DARK SKY COMPLIANT. COLOR: TBD MFR: TBD MODEL: TBD OUTDOOR WALL LANTERN	 STS	STUCCO SIDING. COLOR: TBD MFR: TBD	 PC	POURED CONCRETE EXTERIOR PATIOS. COLOR: TBD STYLE: TBD MFR: TBD
 RMR	RIBBED METAL ROOF. COLOR: TBD MFR: TBD	 HLS	HARDBOARD LAPSIDING. COLOR: TBD STYLE: TBD	 ACT	ACCENT TIMBER. COLOR: CEDAR TBD MFR: TBD
 WINDOWS AND DOORS COLOR: TBD MFR: TBD	NOTE: Operable windows to have tested air infiltration rate of less than 0.2 CFM/sq.ft. Infiltration rate to be tested prior to install	 HSF	HARDBOARD SOFFIT. COLOR: TBD STYLE: TBD	 GSS	GALVANIZED STEEL SIDING. COLOR: TBD MFR: TBD

COLOR PALETTE

*** MATERIALS LISTED ABOVE ARE TO BE
REFINED DURING THE BIDDING AND DESIGN
DEVELOPMENT PHASE BEFORE EXACT
SPECIFICATIONS ARE APPROVED BY OWNER &
ARCHITECT. THIS COLOR PALETTE IS INTENDED
TO SHOW THE DRC THE DIRECTION OF THE
MATERIAL COLORS AS DESIRED BY THE OWNER.
PRE-APPROVED COLOR / FINISH CHOICES WILL
BE PROVIDED TO CLIENT BY ARCHITECT + HASU

GENERAL NOTES:

- SEE DOOR SCHEDULE AND DETAILS FOR FURTHER INFORMATION.
- SEE WINDOW SCHEDULE AND DETAILS SHEET FOR FURTHER INFORMATION.
- PROVIDE BACKER ROD & SEALANT AT PERIMETER OF ALL WALL PENETRATIONS.
- PROVIDE BACKER ROD & SEALANT BETWEEN ALL DISSIMILAR MATERIALS.
- SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING INFORMATION.



HASU - 3BED - SINGLE GARAGE

AROYO CROSSING
MOAB, UT 84532

ELEVATIONS 3 BED

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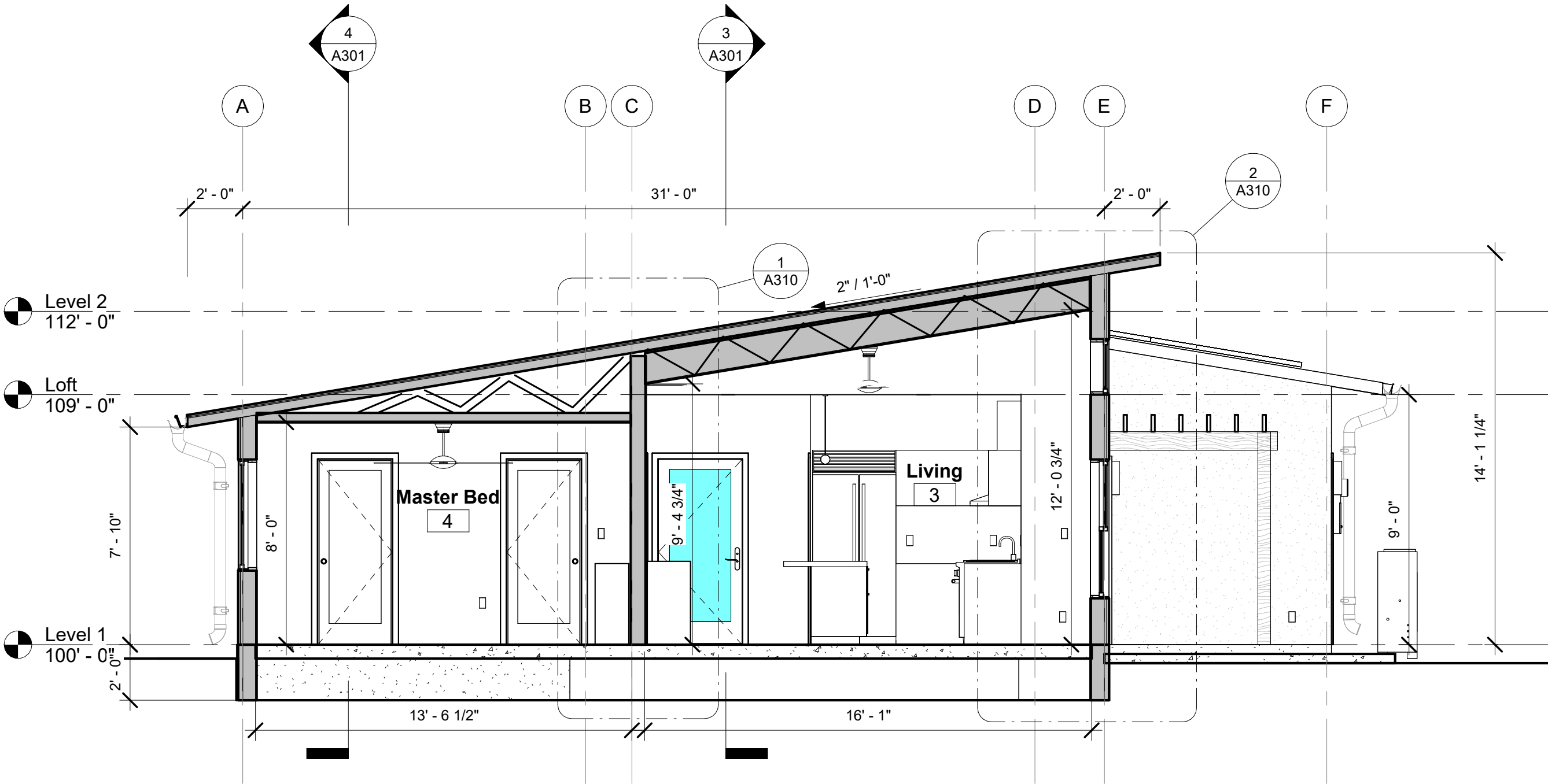
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512-666-1745

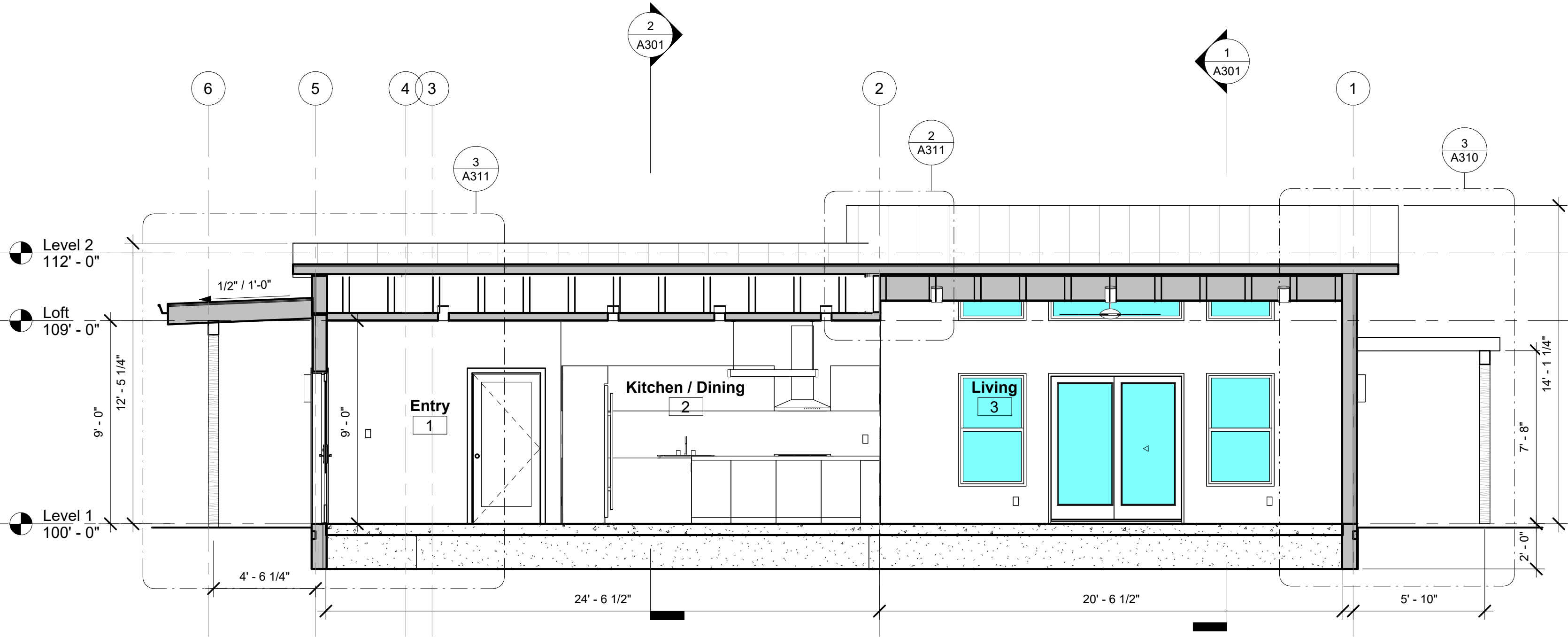
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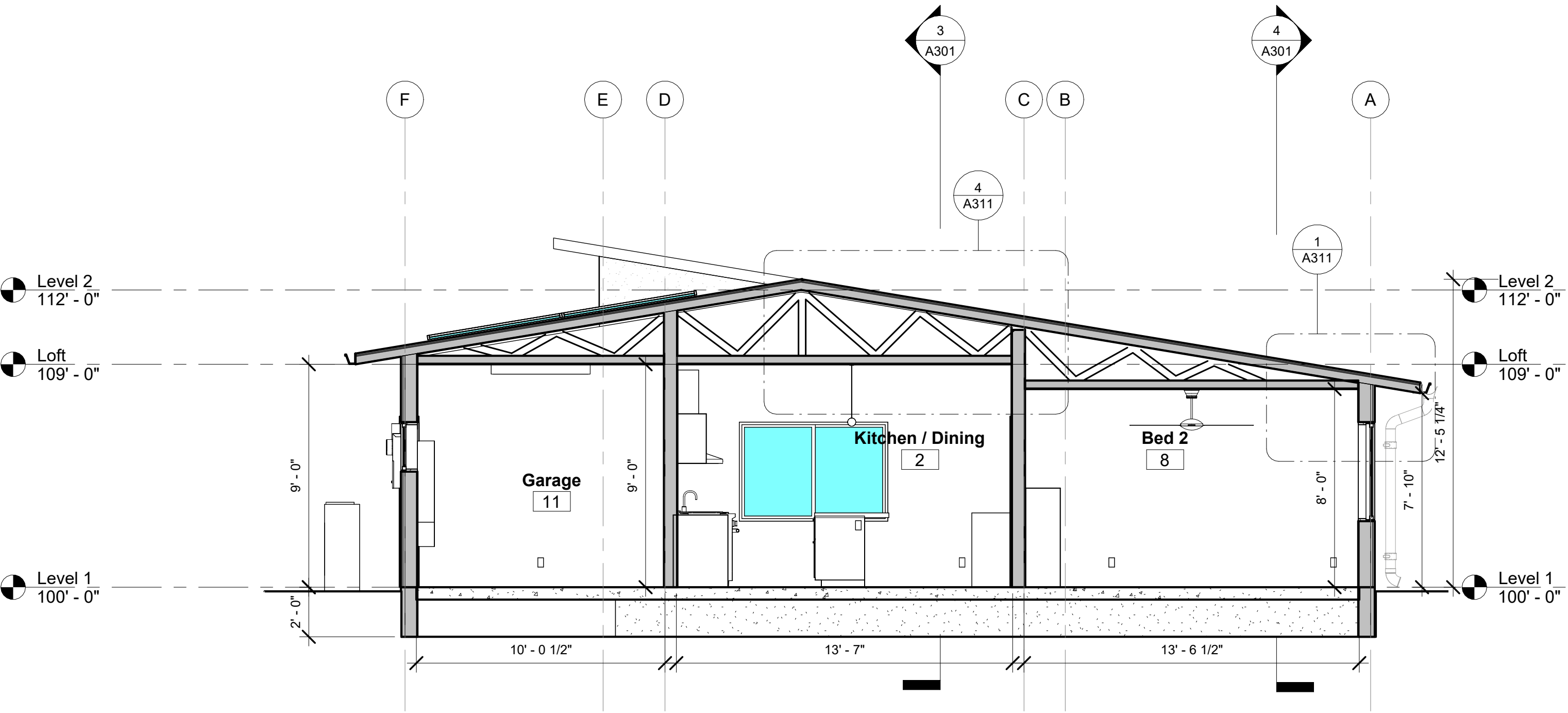
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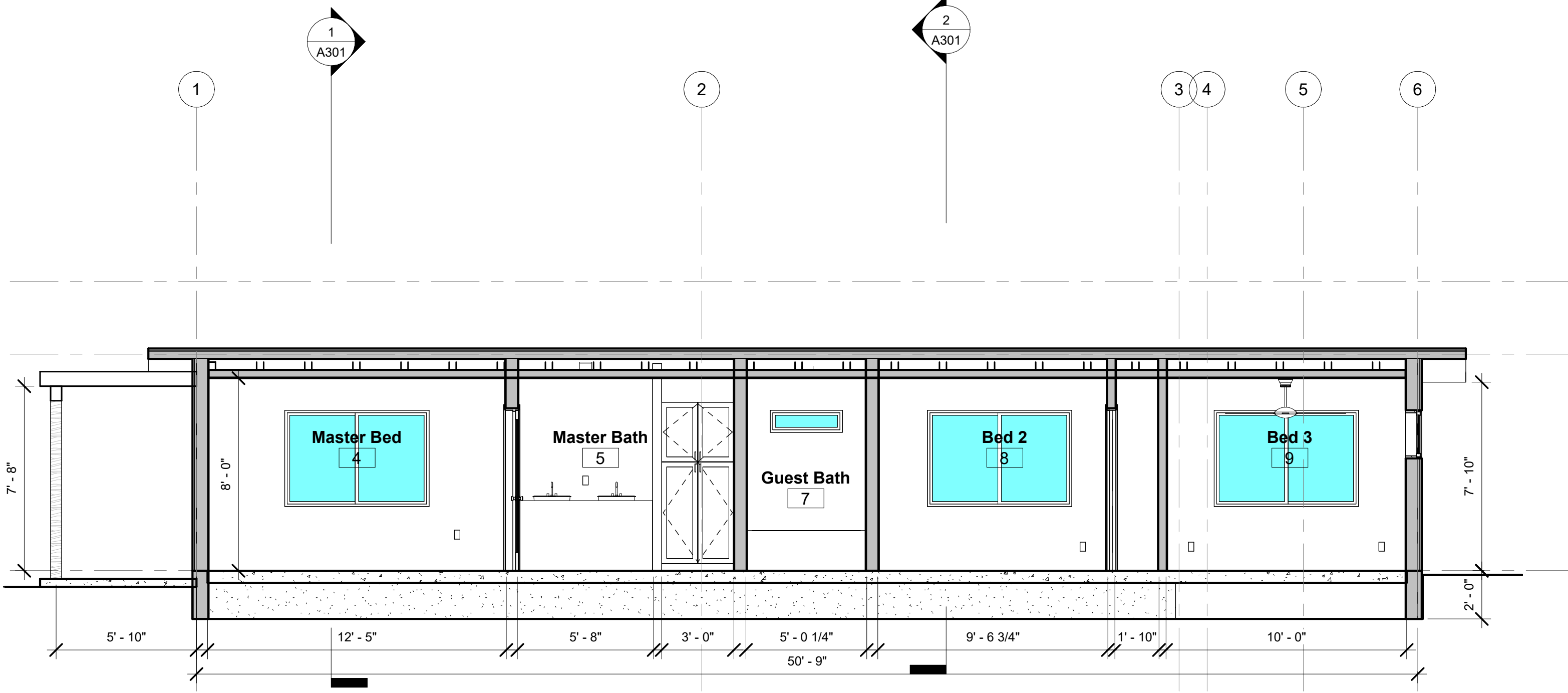
1 SECTION E/W
1/4" = 1'-0"



3 SECTION N/S
1/4" = 1'-0"



2 SECTION W/E
1/4" = 1'-0"



4 SECTION S/N
1/4" = 1'-0"

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HASU - 3BED - SINGLE GARAGE
AROYO CROSSING
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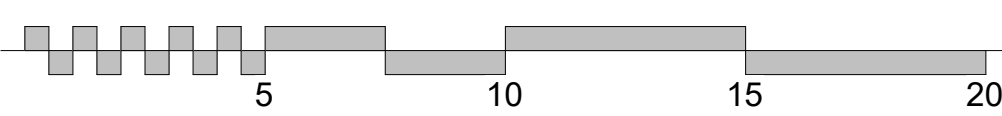
BUILDING
SECTIONS 3
BED

SHEET NUMBER

A301

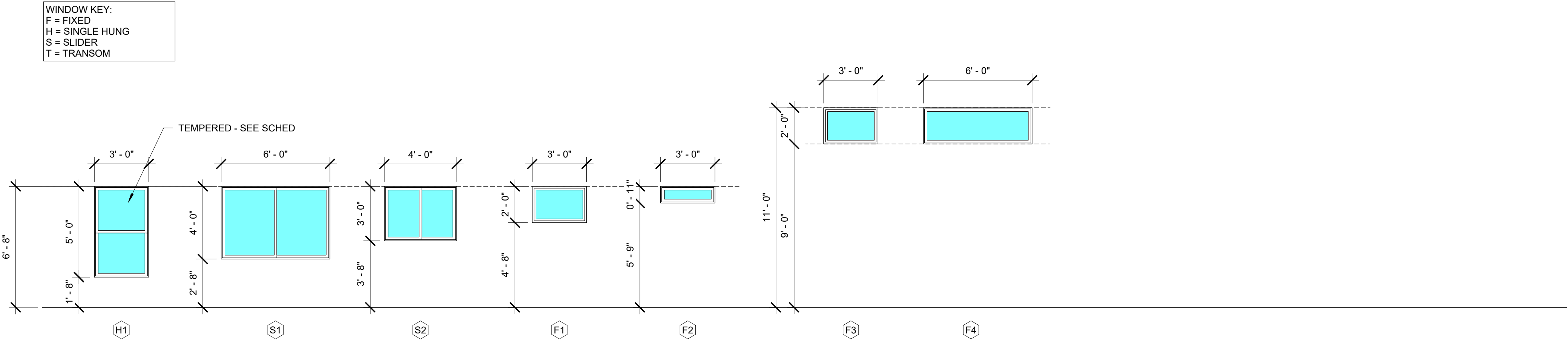
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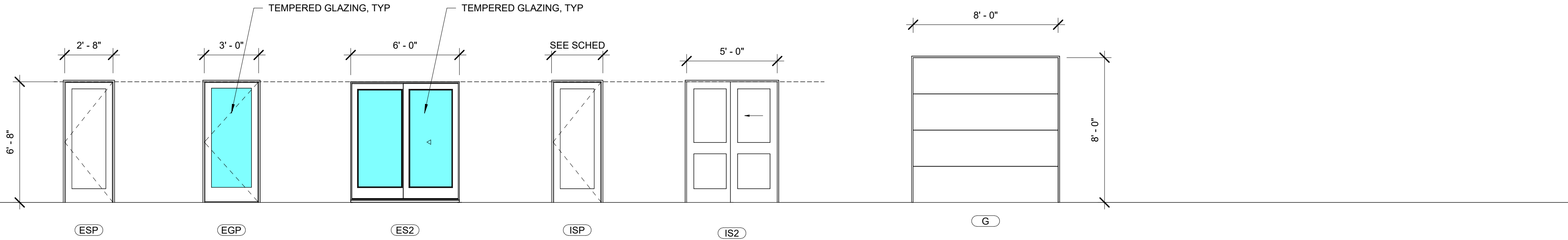
DOOR SCHEDULE 3 BED						
Room Name	Type Mark	Door				Comments
		Family	Height	Width	Frame Material	
Bed 2	IS2	Interior Double Sliding-2 Panel	6' - 8"	5' - 0"		
Bed 2	ISP	Interior Single-1 Panel	6' - 8"	2' - 6"		
Bed 3	IS2	Interior Double Sliding-2 Panel	6' - 8"	5' - 0"		
Bed 3	ISP	Interior Single-1 Panel	6' - 8"	2' - 6"		
Entry	EGP	Exterior Single-Full Glass	6' - 8"	3' - 0"		TEMPERED GLAZING - FRONT DOOR
Garage	ESP	Door-Exterior-Panel	6' - 8"	2' - 8"		
Garage	G	Garage Flush Panel	8' - 0"	8' - 0"		
Kitchen / Dining	ISP	Interior Single-1 Panel	6' - 8"	2' - 6"		
Living	ES2	EXTERIOR - PATIO SLIDER	6' - 8"	6' - 0"	RO @ 80"	TEMPERED GLAZING
Living	ISP	Interior Single-1 Panel	6' - 8"	2' - 8"		
Master Bed	ES2	EXTERIOR - PATIO SLIDER	6' - 8"	6' - 0"	RO @ 80"	TEMPERED GLAZING
Master Bed	ISP	Interior Single-1 Panel	6' - 8"	2' - 8"		
Master Bed	ISP	Interior Single-1 Panel	6' - 8"	2' - 8"		
Mud	ISP	Interior Single-1 Panel	6' - 8"	3' - 0"		
Mud	ISP	Interior Single-1 Panel	6' - 8"	3' - 0"		

WINDOW SCHEDULE 3 BED						
Room Name	Type Mark	Family	Width	Sill Height	Head Height	Comments
Living (Upper)	F3	Fixed	3' - 0"	9' - 0"	11' - 0"	
Living (Upper)	F3	Fixed	3' - 0"	9' - 0"	11' - 0"	
Living (Upper)	F4	Fixed	6' - 0"	9' - 0"	11' - 0"	
Bed 2	S1	Slider	6' - 0"	2' - 8"	6' - 8"	
Bed 3	F1	Fixed	3' - 0"	4' - 8"	6' - 8"	
Bed 3	S1	Slider	6' - 0"	2' - 8"	6' - 8"	
Garage	F1	Fixed	3' - 0"	4' - 8"	6' - 8"	
Garage	F1	Fixed	3' - 0"	4' - 8"	6' - 8"	
Guest Bath	F2	Fixed	3' - 0"	5' - 9"	6' - 8"	TEMPERED GLAZING
Living	H1	Single Hung	3' - 0"	1' - 8"	6' - 8"	TEMPERED GLAZING
Living	H1	Single Hung	3' - 0"	1' - 8"	6' - 8"	TEMPERED GLAZING
Living	S1	Slider	6' - 0"	2' - 8"	6' - 8"	
Master Bed	S1	Slider	6' - 0"	2' - 8"	6' - 8"	
Mud	S2	Slider	4' - 0"	3' - 8"	6' - 8"	

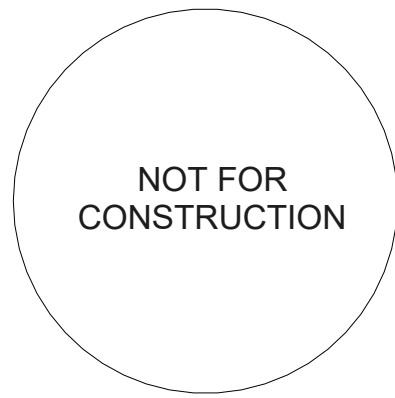


2 WINDOW TYPES
1/4" = 1'-0"

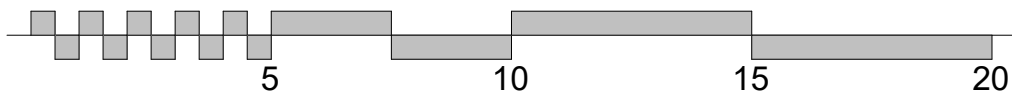
***DOOR DIMENSIONS DO NOT INCLUDE FRAME DIMENSIONS U.N.O.**



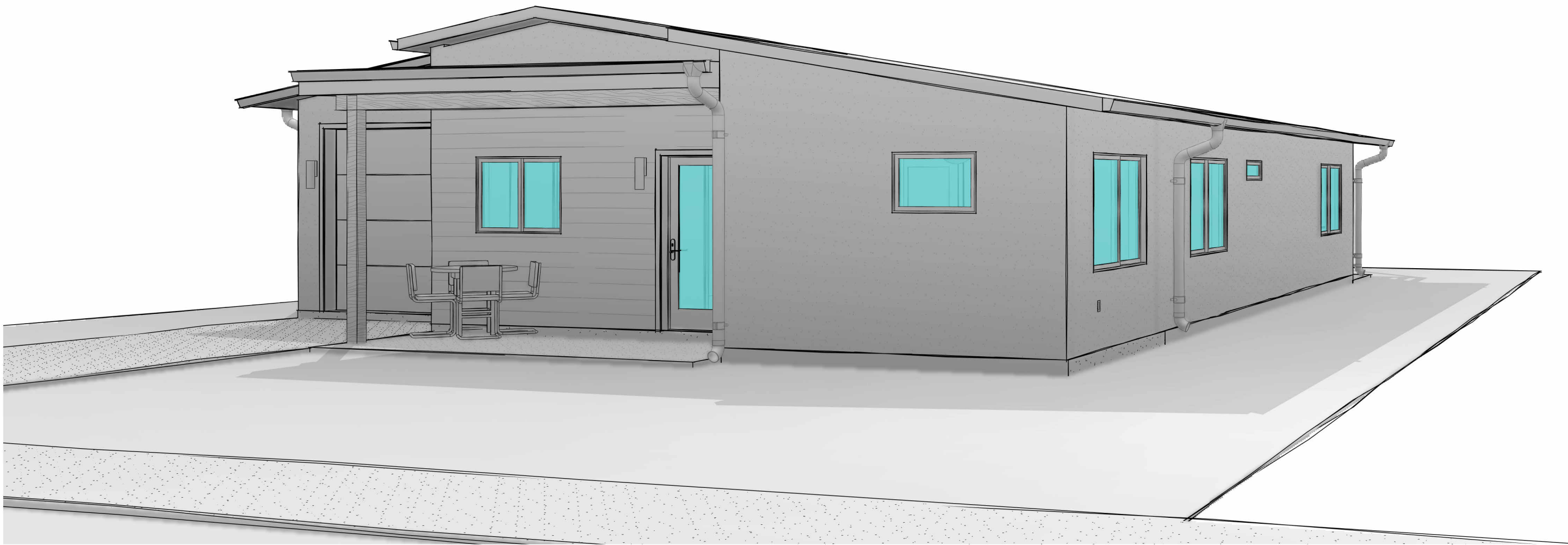
1 DOOR TYPES
1/4" = 1'-0"



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PROPOSAL



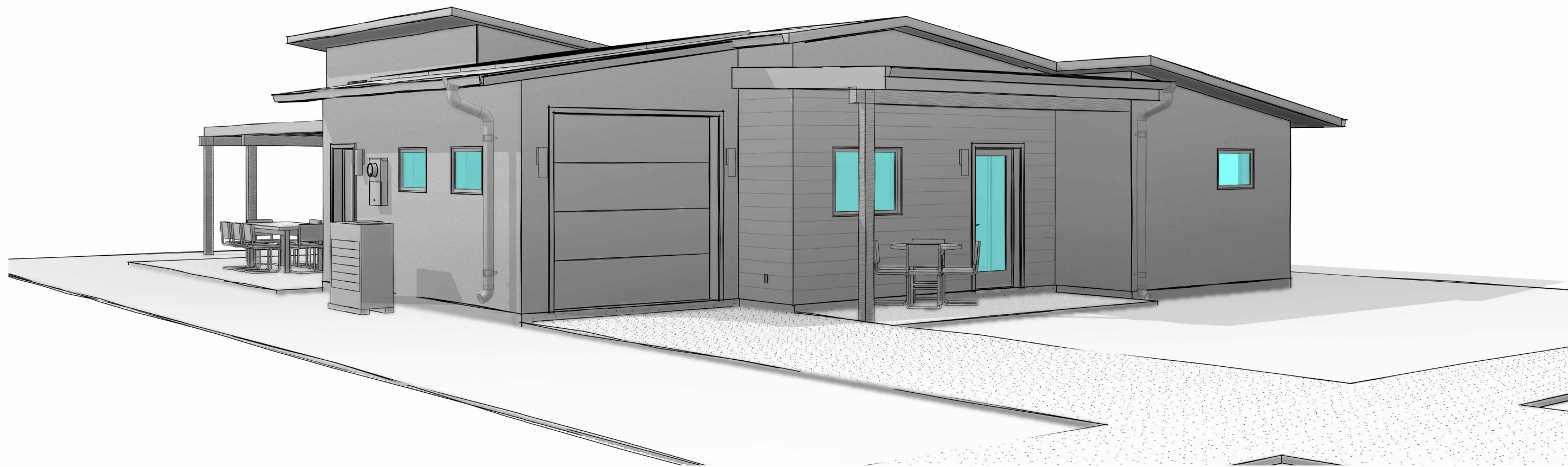
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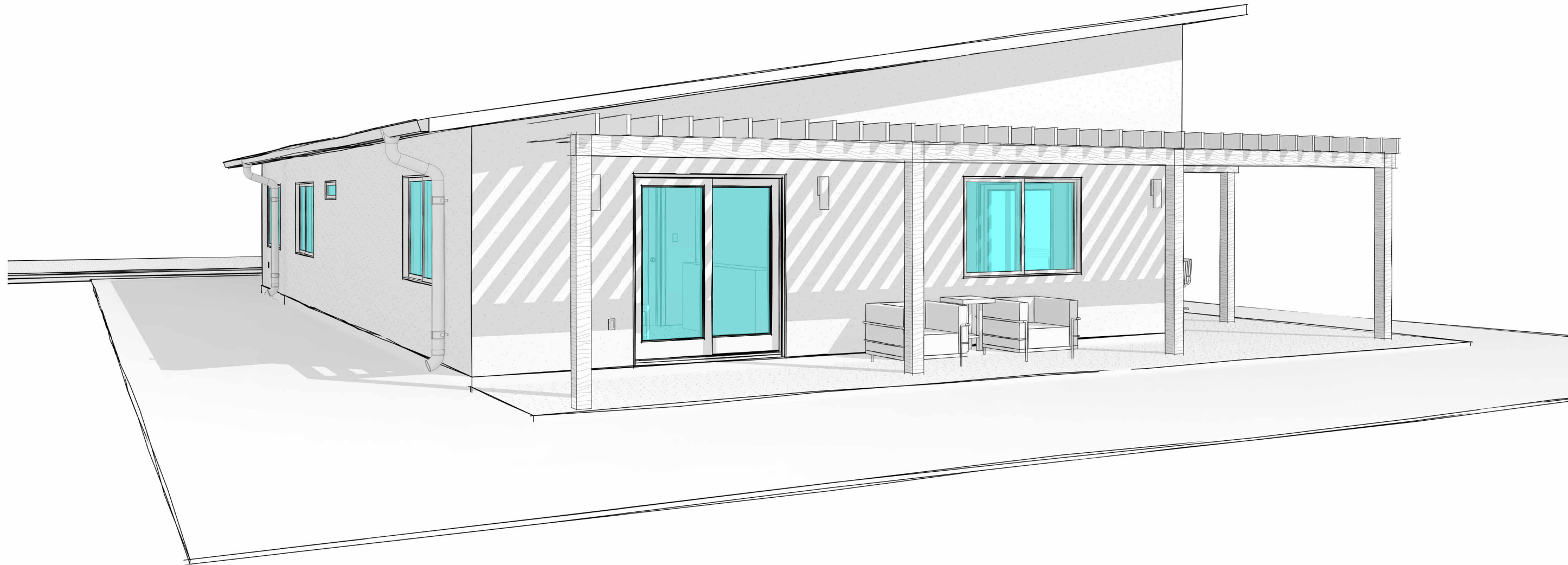
1 AXON FRONT - 3 BED



2 AXON REAR - 3 BED



3 AXON ENTRY - 3 BED



4 AXON MASTER BED - 3 BED

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2021 08 11 PERMIT #1
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HASU - 3BED - SINGLE GARAGE

AROYO CROSSING
MOAB, UT 84532

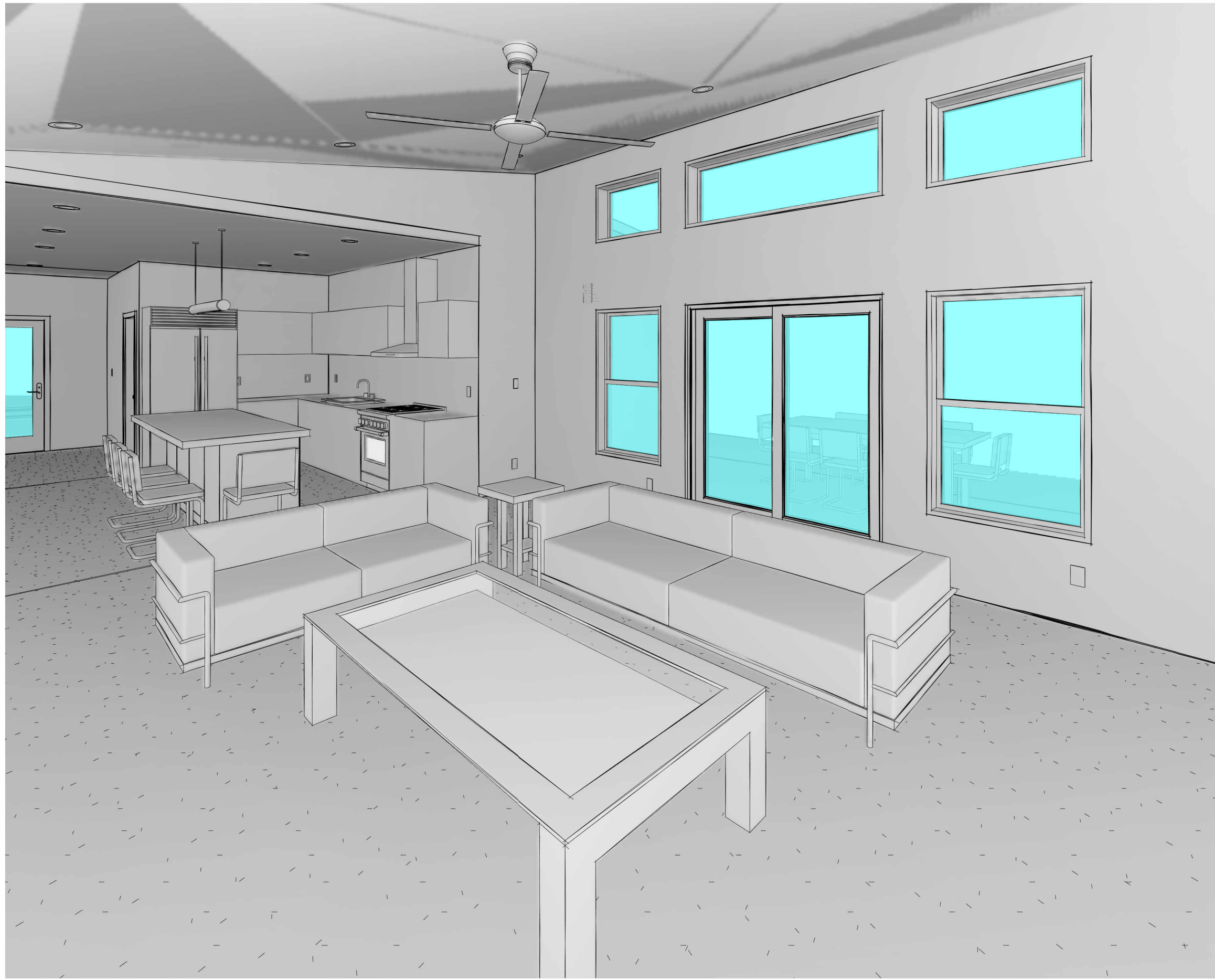
EXTERIOR
PERSPECTIVES
3 BED

SHEET NUMBER

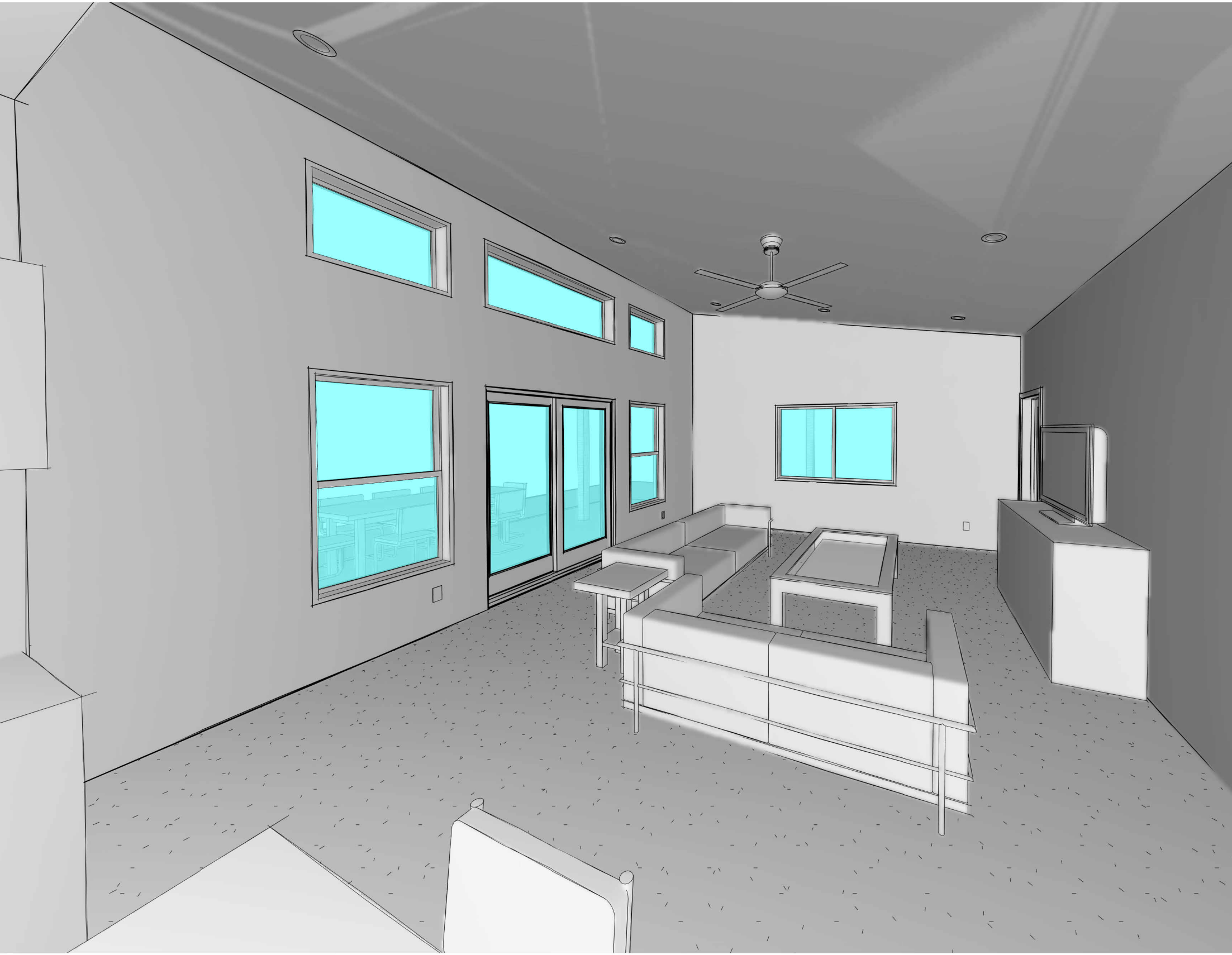
A901

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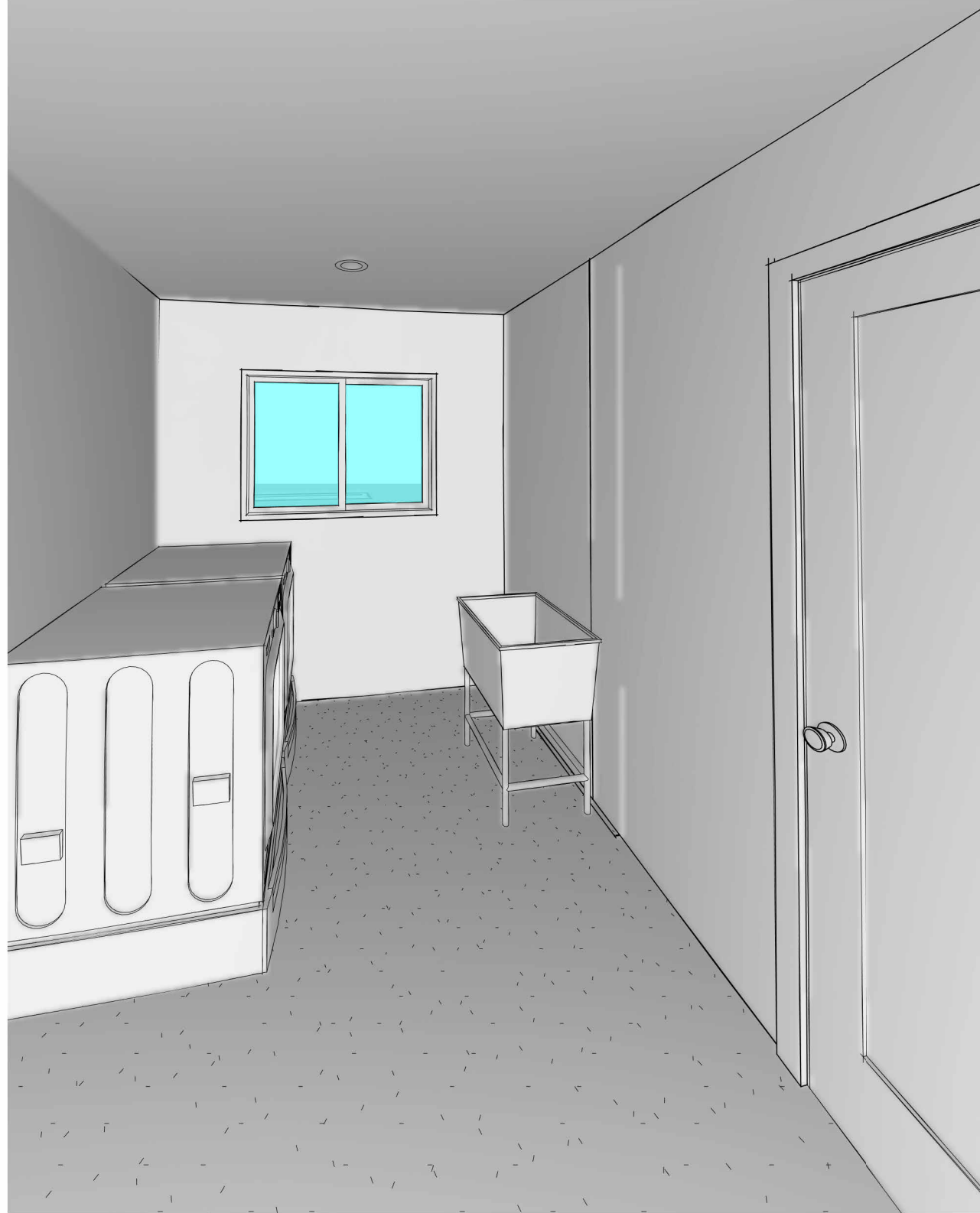
1 LIVING / KITCHEN AXON 3 BED



2 LIVING AXON_3 BED



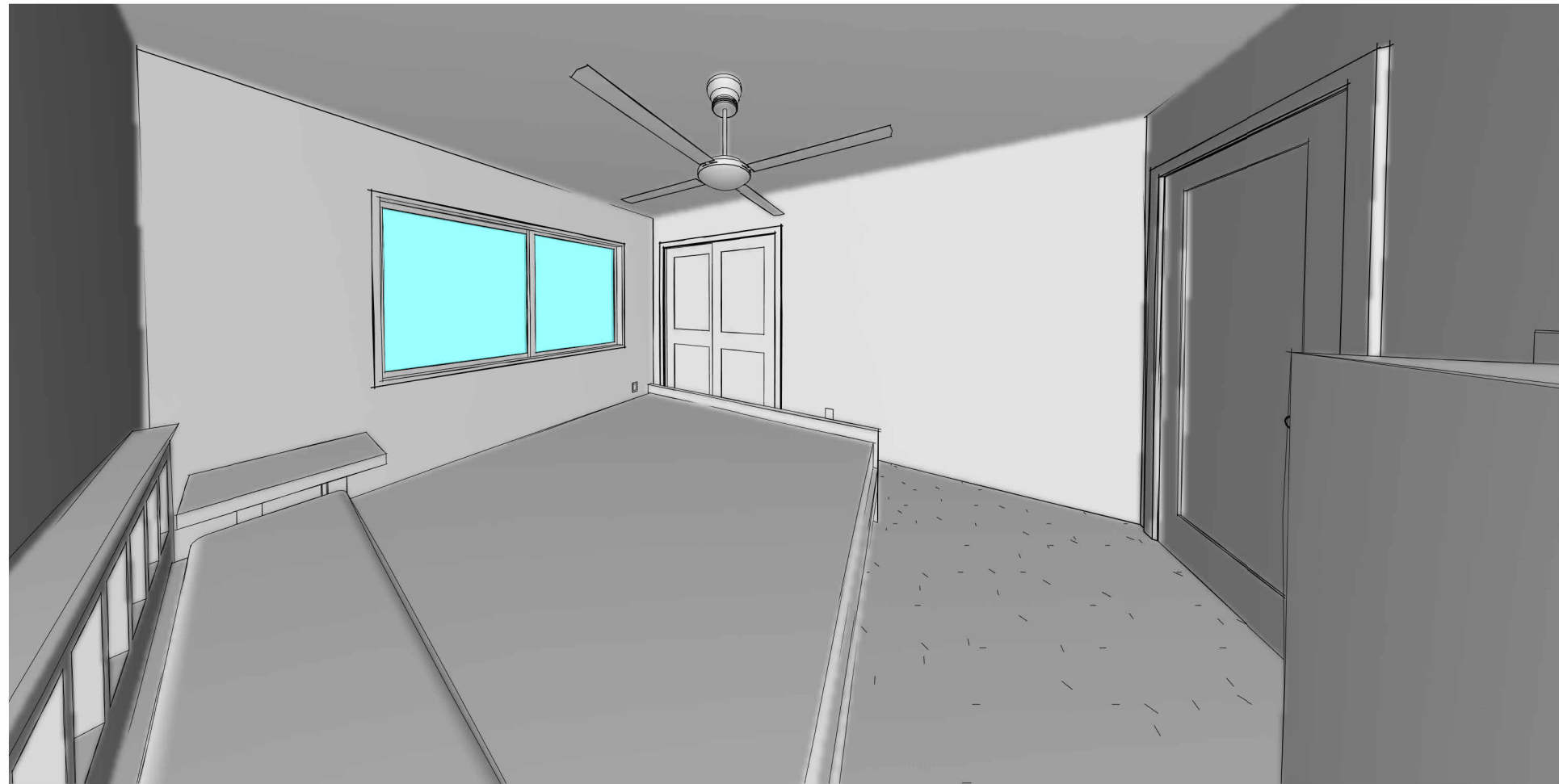
3 KITCHEN / ENTRY AXON_3 BED



4 MUDROOM AXON_3 BED



5 MASTER BED AXON_3 BED



6 GUEST BED AXON_3 BED